

Provo City Landmarks Commission

Report of Action

September 18, 2013

ITEM 2 Kena Mathews, Executive Director of Habitat for Humanity of Utah County requests a Landmarks Certificate of Appropriateness for exterior rehabilitation and restoration of the George Taylor Jr. House located at 187 North 400 West, Provo Utah. The George Taylor Jr. House is listed in the Provo Historic Landmarks Register. *Timp Neighborhood* 13-0004LMDR

The following action was taken by the Landmarks Commission on the above described item at its regular meeting of September 18, 2013:

APPROVE

On a vote of 4:0, the Landmarks Commission approved the above noted application, with the following conditions:

Conditions of Approval:

1. All products, specifications and construction details remaining to be finalized shall be forwarded to Landmarks Commission Members via email for review and approval.

Motion By: Steven Hales

Second By: Susan Fales

Votes in Favor of Motion: Susan Fales, Stephen Hales, Craig Witham, Matthew Christensen

Votes Opposed to Motion: None

Matthew Christensen was present as Chair.

- Includes facts of the case, analysis, conclusions and recommendations outlined in the Staff Report, with any changes noted; Landmarks Commission determination is generally consistent with the Staff analysis and determination.

STAFF PRESENTATION

The Staff Report to the Landmarks Commission provides details of the facts of the case and the Staff's analysis, conclusions, and recommendations. Key points addressed in the Staff's presentation to the Landmarks Commission included the following:

Habitat for Humanity Utah County proposed the following scope of work.

- Masonry paint removal, cleaning, and repair.
- Window and door repair or replacement.
- Repair and replacement of exterior trim and decorative elements.
- Reconstruction of front porch with a wood deck and preservation of existing historic elements.
- Removal of failed roofing and installation of new sheathing and composite shingle roofing.
- General site improvements and landscaping

Each of these work items generally comply with the standards adopted in Provo City Code 16.06.010.

Staff has one concern regarding a proposed change to the northernmost doorway on the ground level front (east) façade. Submitted plans (Sheet AE201) show removal of the existing original door and the insertion of paneling into the lower portion of the opening and a double hung window in the upper portion while retaining the half round transom at the top of the opening. There appears to be no practical reason for this change as the room in this location has three existing windows and the existing door has two glass panels in its upper section. Staff recommends that this opening be maintained in its historic condition and that if necessary the door be secured and sealed closed.

Some specific products, specifications, exterior paint colors and site improvements have yet to be finalized. Staff recommends that the Landmarks Commission approve the Certificate of Appropriateness contingent on the applicant's continued collaboration with Landmarks Commission staff regarding these elements. Staff will forward such information to the Commission via email for review and comment.

NEIGHBORHOOD AND PUBLIC COMMENT

The Neighborhood Chair was not present during the hearing.

Neighbors or other interested parties were present or addressed the Landmarks Commission.

Kirk Huffaker, Executive Director of the Utah Heritage Foundation expressed his support for the project and encouraged the applicant to repair and rehabilitate existing historic features, including windows wherever possible.

CONCERNS RAISED BY PUBLIC

No concerns were raised.

APPLICANT RESPONSE

Key points addressed in the applicant's presentation to the Landmarks Commission included the following:

Kena Mathews, Executive Director of Habitat for Humanity of Utah County expressed their desire to comply with the recommendations made by staff regarding the northernmost doorway on the ground level front (east) façade.

The applicant further explained that their organization hopes to establish some type of program or structure for continuing maintenance of the building exterior and site in collaboration with the development of the remainder of the surrounding site.

LANDMARKS COMMISSION DISCUSSION

Key points discussed by the Landmarks Commission included the following:

The Landmarks Commission expressed satisfaction with the restoration of the house. The commission concurred with the staff recommendation regarding the northernmost doorway on the ground level front (east) façade. The commission also expressed their desire to see the remaining historic windows repaired or restored and any new replacement windows to match the historic units.



Landmarks Commission Chair



Director of Community Development

See Key Land Use Policies of the Provo City General Plan, applicable Titles of the Provo City Code, and the Staff Report to the Landmarks Commission for further detailed information. The Staff Report is a part of the record of the decision of this item. Where findings of the Landmarks Commission differ from findings of Staff, those will be noted in this Report of Action.

Legislative items are noted with an asterisk (*) and require legislative action by the Municipal Council following a public hearing; the Landmarks Commission provides an advisory recommendation to the Municipal Council following a public hearing.

Administrative decisions of the Landmarks Commission (items not marked with an asterisk) **may appeal** that decision to the Mayor, subject to the procedures in Section 3.06.010, Provo City Code.

BUILDING PERMITS MUST BE OBTAINED BEFORE CONSTRUCTION BEGINS



**Landmarks Commission
Staff Report
Certificate of Appropriateness
Hearing Date:
September 18, 2013**

ITEM 2 Kena Mathews, Executive Director of Habitat for Humanity of Utah County requests a Landmarks Certificate of Appropriateness for exterior rehabilitation and restoration of the George Taylor Jr. House located at 187 North 400 West, Provo Utah. The George Taylor Jr. House is listed in the Provo Historic Landmarks Register. ***Timp Neighborhood*** 13-0004LMDR

<p>Applicant: Habitat for Humanity of Utah County; Kena Mathews Staff Coordinator: Josh Yost</p> <p>Property Owner: Habitat for Humanity Utah County Parcel ID#: 40790029 Current Zone: DT1</p> <p>*Council Action Required: None</p> <p><u>ALTERNATIVE ACTIONS</u></p> <p>1. Continue to a future date to obtain additional information or to further consider information presented. <i>The next available meeting date is October 16, 2013, at 12:30 p.m.</i></p> <p>2. Recommend Denial of the Landmarks Certificate of Appropriateness. <i>This would be a <u>change from the Staff recommendation</u>; the Landmarks Commission should <u>state new findings</u>.</i></p>	<p>Landmarks Designation: Listed in Provo City Landmarks Register</p> <p>Current Legal Use: Single Family Dwelling</p> <p>Neighborhood Issues: None</p> <p>Staff Recommendation: <u>Recommend Approval</u> of the Landmarks Certificate of Appropriateness. <i>This action would be consistent with the recommendation of the Staff Report. Any additional changes should be stated with the motion</i></p>
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OVERVIEW

Habitat for Humanity Utah County has purchased the George Taylor Jr. House with the intent of rehabilitating and restoring the home for use as a single family residence. The portion of this work that falls under the purview of the Landmarks Commission is limited to the exterior of the house and its surrounding site.

STAFF ANALYSIS

Habitat for Humanity Utah County proposed the following scope of work.

- Masonry paint removal, cleaning, and repair.
- Window and door repair or replacement.
- Repair and replacement of exterior trim and decorative elements.
- Reconstruction of front porch with a wood deck and preservation of existing historic elements.
- Removal of failed roofing and installation of new sheathing and composite shingle roofing.
- General site improvements and landscaping

Each of these work items generally comply with the standards adopted in Provo City Code 16.06.010.

Staff has one concern regarding a proposed change to the northernmost doorway on the ground level front (east) façade. Submitted plans (Sheet AE201) show removal of the existing original door and the insertion of paneling into the lower portion of the opening and a double hung window in the upper portion while retaining the half round transom at the top of the opening. There appears to be no practical reason for this change as the room in this location has three existing windows and the existing door has two glass panels in its upper section. Staff recommends that this opening be maintained in its historic condition and that if necessary the door be secured and sealed closed.

Some specific products, specifications, exterior paint colors and site improvements have yet to be finalized. Staff recommends that the Landmarks Commission approve the Certificate of Appropriateness contingent on the applicant's continued collaboration with Landmarks Commission staff regarding these elements. Staff will forward such information to the Commission via email for review and comment.

CONCLUSIONS

The work proposed to be performed on the George Taylor Jr. House by the applicant generally complies with the standards of the Provo City Landmarks Preservation Ordinance and the Secretary of the Interior's Standards for the Treatment of Historic Properties as referenced by the ordinance.

STAFF RECOMMENDATION

Staff recommends that the Landmarks Commission approve the Certificate of Appropriateness with the change to the northern doorway opening as recommended by staff, contingent on the applicant's continued collaboration with Landmarks Commission and staff regarding the specific outstanding elements delineated in the staff analysis.

ATTACHMENTS

- 1 – Architectural plans
- 2 – National Register of Historic Places Nomination

GEORGE TAYLOR, JR. HOUSE RENOVATION

187 NORTH 400 WEST, PROVO, UTAH



SYMBOLS LEGEND

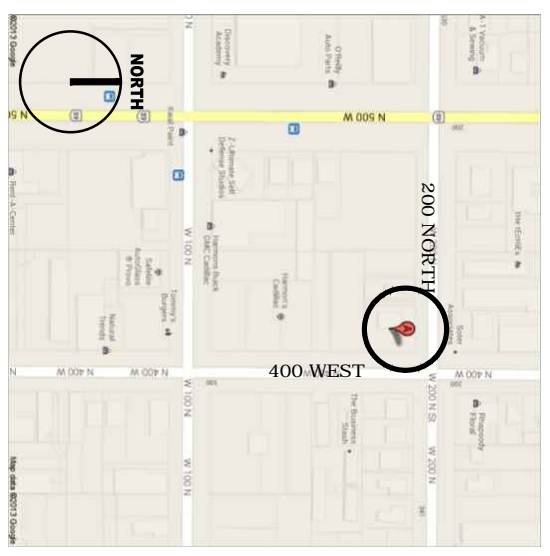
<p>DETAIL REFERENCE</p> <p>DETAIL NUMBER SHEET NUMBER</p> <p>AE502</p>	<p>DOOR TAG</p> <p>101 A1 2</p>	<p>REFERENCE NOTE</p> <p>1</p>	<p>NEW</p>
<p>EXTERIOR ELEVATION REFERENCE</p> <p>A1 AE202</p>	<p>DOOR # DOOR TYPE HARDWARE GROUP</p> <p>101 A1 2 00</p>	<p>REVISION NOTE</p> <p>1</p>	<p>EXISTING</p>
<p>SECTION REFERENCE</p> <p>A4 AE301</p>	<p>DOOR TAG</p> <p>101 A1 2 00</p>	<p>ELEVATION MARKER</p>	<p>DEMOLITION</p>

NOTE: ALL MATERIALS REFERENCED ARE NEW UNLESS NOTED OTHERWISE

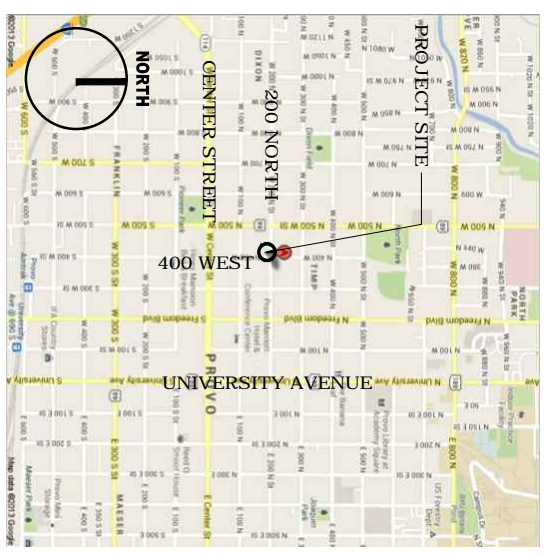
SHEET INDEX

ARCHITECTURAL	<p>GI001 SHEET INDEX</p> <p>AS101 SITE PLAN</p> <p>AD101 FIRST FLOOR DEMO</p> <p>AD102 SECOND FLOOR DEMO</p> <p>AD103 ROOF DEMO</p> <p>AE101 FIRST FLOOR PLAN</p> <p>AE102 SECOND FLOOR PLAN</p> <p>AE103 ROOF PLAN</p> <p>AE201 EXTERIOR ELEVATIONS</p> <p>AE202 EXTERIOR ELEVATIONS</p> <p>AE501 WALL TYPES</p> <p>AE601 DOOR AND WINDOW SCHEDULE</p>
STRUCTURAL	<p>S101 FOUNDATION PLAN</p> <p>S201 SECOND FLOOR FRAMING PLAN</p> <p>S301 ROOF FRAMING PLAN</p> <p>S401 CONSTRUCTION DETAILS</p> <p>S402 CONSTRUCTION DETAILS</p>

VICINITY MAP



AREA MAP



GEORGE TAYLOR JR HOUSE RENOVATION

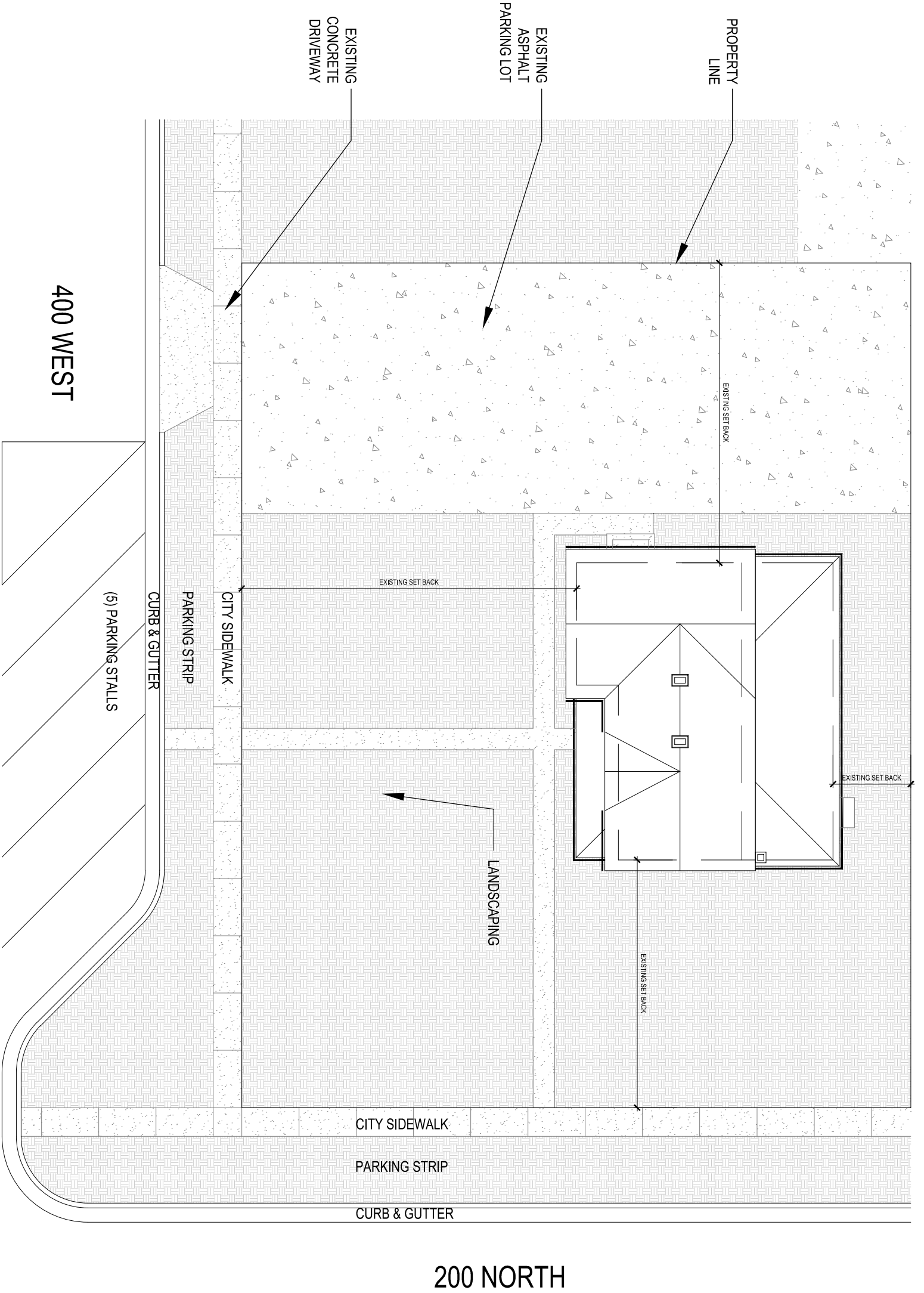
PROJECT #: 13-006	DATE: 06/28/2013
CAD DWG FILE:	
DRAWN BY:	CHECKED BY:
SHEET INDEX	GI001



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SITE PLAN

SCALE: 1/16" = 1'-0"



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GEORGE TAYLOR JR HOUSE RENOVATION

PROJECT #: 13-006

DATE: 06/28/2013

CAD DWG FILE:

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CHECKED BY:

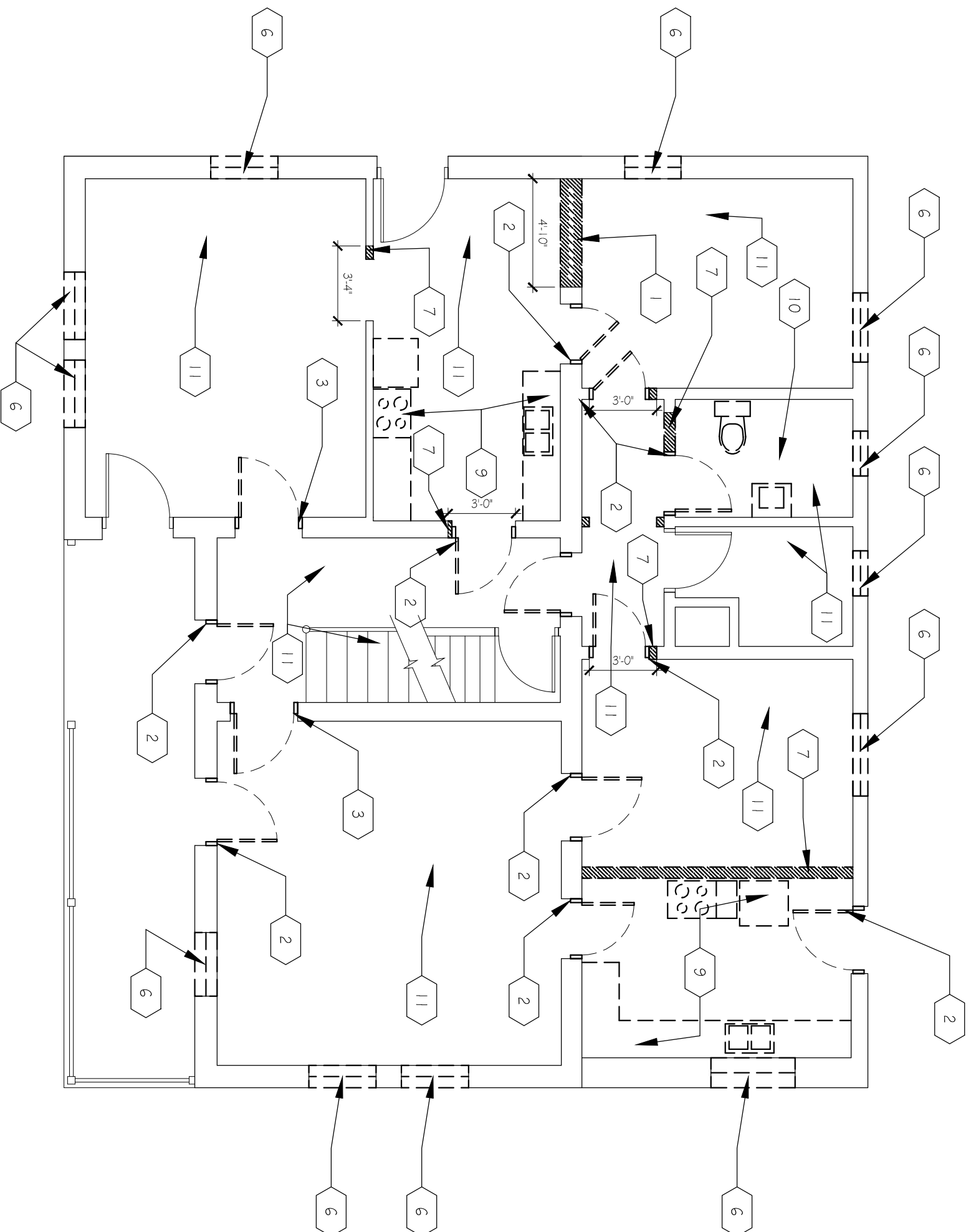
SITE PLAN

AS101

A

SCALE: 3/16" = 1'-0"

FIRST FLOOR DEMO



REFERENCE NOTES

1. DEMO & REMOVE EXISTING MASONRY WALL AS INDICATED
2. DEMO & REMOVE DOOR AND FRAME
3. REMOVE & SALVAGE DOOR AND FRAME
4. DEMO & REMOVE DOOR ONLY
5. REMOVE & SALVAGE DOOR
6. DEMO AND REMOVE EXISTING WINDOW UNIT AND FRAME
7. DEMO & REMOVE EXISTING WALL
9. DEMO & REMOVE EXISTING CASEROCK
10. DEMO & REMOVE PLUMBING FIXTURES
11. DEMO AND REMOVE ALL EXISTING FLOORING DOWN TO ORIGINAL WOOD FLOOR
12. DEMO & REMOVE EXISTING ASPHALT SHINGLES
13. DEMO & REMOVE EXISTING GUTTERS AND DOWN SPOUTS

LEGEND

----- DEMO EXISTING WALL
 ===== EXISTING WALL TO REMAIN

GENERAL NOTES

- A. REMOVAL OF NON-BEARING WALLS TO INCLUDE: DOORS, WINDOWS, FRAMES, EQUIPMENT, MECHANICAL, ELECTRICAL, CONTROLS, & OTHER SYSTEMS IN THE PORTION TO BE REMODELED, UNLESS OTHERWISE NOTED.
- B. REMOVE FLOORING INCLUDING ADHESIVES, NAILING STRIPS, DEBRIS, ETC. PREPARE FOR NEW FINISHES.
- C. NOTIFY OWNER IMMEDIATELY IF ASBESTOS CONTAINING MATERIAL IS DISCOVERED.
- D. NOTIFY ARCHITECT IF CONDITIONS DIFFER FROM THOSE SHOWN ON DRAWINGS.
- E. PROVIDE SATISFACTORY PROTECTION FOR ALL HISTORIC FINISHES TO REMAIN. COORDINATE WITH ARCHITECT.
- F. ASBESTOS REMOVAL REQUIRED BY MECHANICAL, ELECTRICAL, PLUMBING, ETC. SUCH AS PULLING HOLES THROUGH WALLS, FLOOR SLABS, CEILING, ETC. TO BE INCLUDED IN CONTRACT. NOTIFY ARCHITECT PRIOR TO ANY DEMOLITION NOT SHOWN ON THESE DOCUMENTS.
- G. REMOVE ALL MECHANICAL, DUCTWORK, ELECTRICAL, CONDUIT, & OTHER SYSTEMS ONLY AS REQUIRED FOR NEW WORK. BUILDING SYSTEMS NOT AFFECTED TO REMAIN.
- H. CONTRACTOR IS TO PROVIDE ANY SHORING OF ANY CEILING, FLOOR, ROOF & WALL STRUCTURE REMOVED UNTIL NEW STRUCTURE IS INSTALLED.
- I. CONTRACTOR MUST COORDINATE & FIELD VERIFY EXTENT OF DEMOLITION TO ACCOMMODATE NEW CONSTRUCTION.
- J. ALL SALVAGED ITEMS ARE PROPERTY OF OWNER (UNO).
- K. CONTRACTOR RESPONSIBLE FOR TEMPORARY WEATHER PROTECTION PLAN.

GEORGE TAYLOR JR HOUSE RENOVATION

PROJECT #: 13-006 DATE: 06/28/2013

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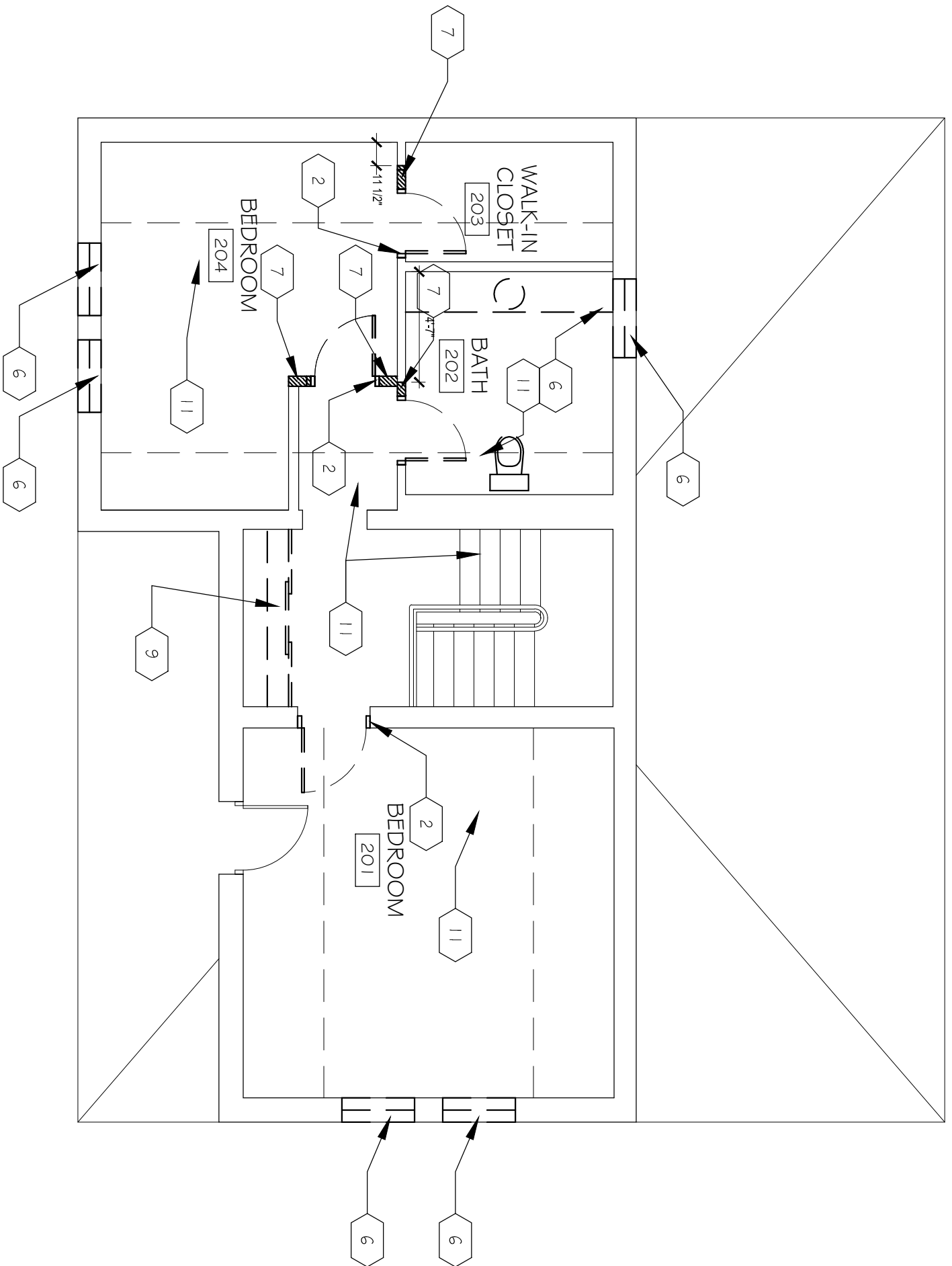
DRAWN BY: FIRST FLOOR DEMOLITION PLAN AD101

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SECOND FLOOR DEMO

SCALE: 3/16" = 1'-0"



REFERENCE NOTES

1. DEMO & REMOVE EXISTING MASONRY WALL AS INDICATED
2. DEMO & REMOVE DOOR AND FRAME
3. REMOVE & SALVAGE DOOR AND FRAME
4. DEMO & REMOVE DOOR ONLY
5. REMOVE & SALVAGE DOOR
6. DEMO AND REMOVE EXISTING WINDOW UNIT AND FRAME
7. DEMO & REMOVE EXISTING WALL
8. DEMO & REMOVE EXISTING CASEWORK
9. DEMO & REMOVE EXISTING CASEWORK
10. DEMO & REMOVE EXISTING CASEWORK
11. DEMO AND REMOVE ALL EXISTING FLOORING DOWN TO ORIGINAL WOOD FLOOR
12. DEMO & REMOVE EXISTING ASPHALT SHINGLES
13. DEMO & REMOVE EXISTING GUTTERS AND DOWN SPOUTS

LEGEND

----- DEMO EXISTING WALL
 ===== EXISTING WALL TO REMAIN

GENERAL NOTES

- A. REMOVAL OF NON-BEARING WALLS TO INCLUDE: DOORS, WINDOWS, FRAMES, EQUIPMENT, MECHANICAL, ELECTRICAL, CONTROLS, & OTHER SYSTEMS IN THE PORTION TO BE REMOVED, UNLESS OTHERWISE NOTED.
- B. REMOVE FLOORING INCLUDING ADHESIVES, NAILING STRIPS, DEBRIS, ETC. PREPARE FOR NEW FINISHES.
- C. NOTIFY OWNER IMMEDIATELY IF ASBESTOS CONTAINING MATERIAL IS DISCOVERED.
- D. NOTIFY ARCHITECT IF CONDITIONS DIFFER FROM THOSE SHOWN ON DRAWINGS.
- E. PROVIDE SATISFACTORY PROTECTION FOR ALL HISTORIC FINISHES TO REMAIN. COORDINATE WITH ARCHITECT.
- F. REMOVAL OF MECHANICAL, ELECTRICAL, PLUMBING, ETC. SUCH AS PULLING HOLES THROUGH WALLS, FLOOR SLABS, CEILINGS, ETC. TO BE INCLUDED IN CONTRACT. NOTIFY ARCHITECT PRIOR TO ANY DEMOLITION NOT SHOWN ON THESE DOCUMENTS.
- G. REMOVE ALL MECHANICAL, ELECTRICAL, CONDUIT, & OTHER SYSTEMS ONLY AS REQUIRED FOR NEW WORK. BUILDING SYSTEMS NOT AFFECTED TO REMAIN.
- H. CONTRACTOR IS TO PROVIDE ANY SHORING OF ANY CEILING, FLOOR, ROOF & WALL STRUCTURE REMOVED UNTIL NEW STRUCTURE IS INSTALLED.
- I. CONTRACTOR MUST COORDINATE & FIELD VERIFY EXTENT OF DEMOLITION TO ACCOMMODATE NEW CONSTRUCTION.
- J. ALL SALVAGED ITEMS ARE PROPERTY OF OWNER (UNO).
- K. CONTRACTOR RESPONSIBLE FOR TEMPORARY WEATHER PROTECTION PLAN.

GEORGE TAYLOR JR HOUSE RENOVATION

PROJECT #: 13-006 DATE: 06/28/2013

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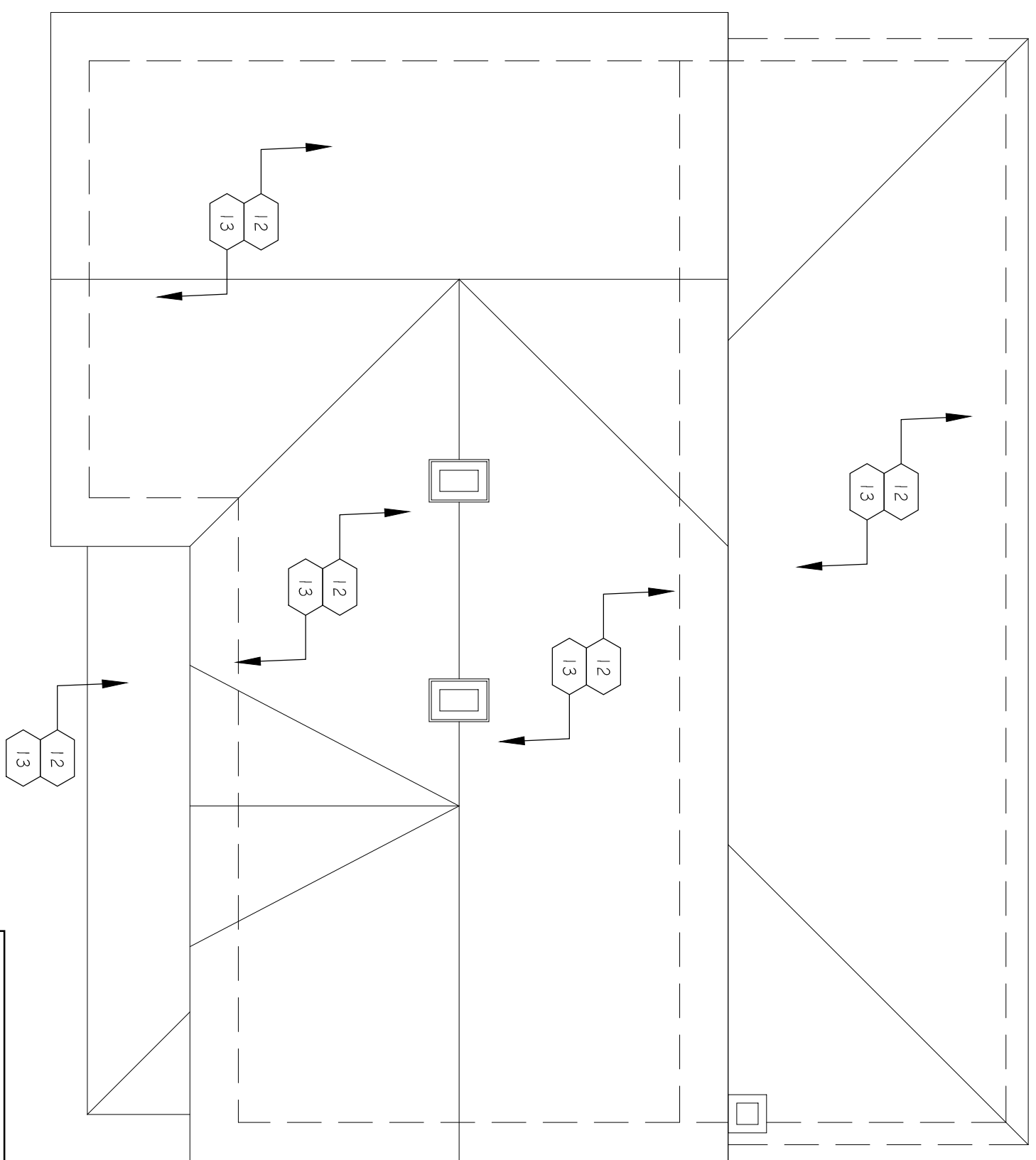
SECOND FLOOR DEMOLITION PLAN AD102

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ROOF PLAN

SCALE: 3/16" = 1'-0"



REFERENCE NOTES

1. DEMO & REMOVE EXISTING MASONRY WALL AS INDICATED
2. DEMO & REMOVE DOOR AND FRAME
3. REMOVE & SALVAGE DOOR AND FRAME
4. DEMO & REMOVE DOOR ONLY
5. REMOVE & SALVAGE DOOR
6. DEMO AND REMOVE EXISTING WINDOW UNIT AND FRAME
7. DEMO & REMOVE EXISTING WALL
9. DEMO & REMOVE EXISTING CASEWORK
10. DEMO & REMOVE EXISTING FINISHES
11. DEMO AND REMOVE ALL EXISTING FLOORING DOWN TO ORIGINAL WOOD FLOOR
12. DEMO & REMOVE EXISTING ASPHALT SHINGLES
13. DEMO & REMOVE EXISTING GUTTERS AND DOWN SPOUTS

LEGEND

DEMO EXISTING WALL
 EXISTING WALL TO REMAIN

GENERAL NOTES

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- B. REMOVE FLOORING INCLUDING ADHESIVES, NAILING STRIPS, DEBRIS, ETC. PREPARE FOR NEW FINISHES.
- C. NOTIFY OWNER IMMEDIATELY IF ASBESTOS CONTAINING MATERIAL IS DISCOVERED.
- D. NOTIFY ARCHITECT IF CONDITIONS DIFFER FROM THOSE SHOWN ON DRAWINGS.
- E. PROVIDE SNIP-SAFETY PROTECTION FOR ALL HISTORIC FINISHES TO REMAIN. COORDINATE WITH ARCHITECT.
- F. DEMO AND REMOVE MECHANICAL, ELECTRICAL, PLUMBING, ETC. SUCH AS BILLING HOLES THROUGH WALLS, FLOOR SLABS, CEILING, ETC. TO BE INCLUDED IN CONTRACT. NOTIFY ARCHITECT PRIOR TO ANY DEMOLITION NOT SHOWN ON THESE DOCUMENTS.
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- I. CONTRACTOR MUST COORDINATE & FIELD VERIFY EXTENT OF DEMOLITION TO ACCOMMODATE NEW CONSTRUCTION.
- J. ALL SALVAGED ITEMS ARE PROPERTY OF OWNER UNO.
- K. CONTRACTOR RESPONSIBLE FOR TEMPORARY WEATHER PROTECTION PLAN.

GEORGE TAYLOR JR HOUSE RENOVATION

PROJECT #: 13-006 DATE: 06/28/2013

CAD DWG FILE: DRAWN BY: CHECKED BY:

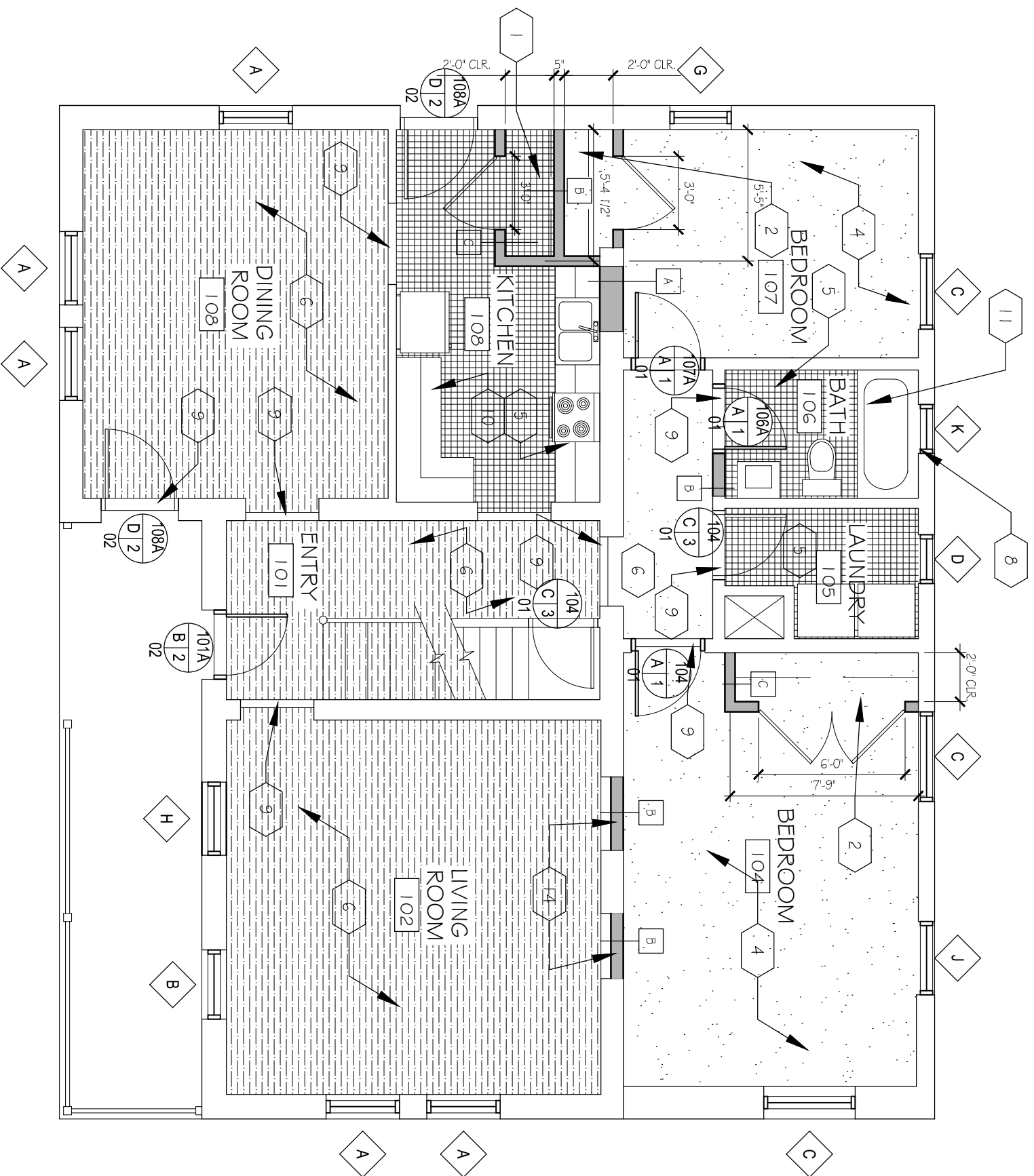
ROOF PLAN AD103

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FIRST FLOOR PLAN

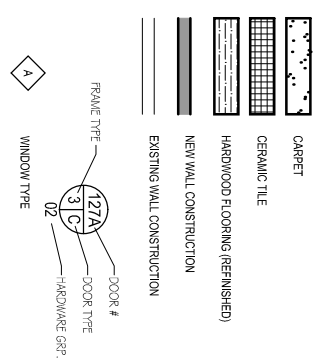
SCALE: 3/16" = 1'-0"



REFERENCE NOTES

1. PANTRY / FULL HEIGHT SHELVING, MISWINGING HOLLOW WOOD CORE DOOR, AS SHOWN
2. CLOSET, SHELF AND CLOTHING ROD, MISWINGING HOLLOW WOOD CORE DOOR, AS SHOWN
3. RESTORE EXISTING WOOD DOOR TO OPTIMAL FUNCTIONALITY
4. CARPET
5. CERAMIC TILE
6. EXISTING HARDWOOD FLOORING (REFINISHED)
7. PARTIAL HEIGHT WALL, 4'-0" HIGH
8. SOLID SURFACE WINDOW SILL AND JAMB
9. THRESHOLD
10. KITCHEN COUNTERTOPS, SINKS, ETC.
11. BATHROOM VANITY, TUB, TOILET
12. BUILT IN DESK W/UPPER CABINETS
13. WOOD GUARDRAIL, 42" HIGH
14. FULL HEIGHT SHELVING IN NICHE

LEGEND



GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS.
2. DATUM ELEVATION REFERENCE = ELEV. 100.0.
3. IF ANY CONFLICT IS FOUND BETWEEN ANY OF THE CONTRACT DOCUMENTS, THE MOST STRINGENT REQUIREMENT(S) SHALL APPLY AND BE PART OF THIS CONTRACT.
4. ALL GENERAL CONTRACTORS, SUBCONTRACTORS AND SUB-SUBCONTRACTORS SHALL BE LICENSED TO WORK IN THE STATE OF UTAH.
5. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION & NEW CONSTRUCTION AS SHOWN ON THE PLANS AS REQUIRED FOR A COMPLETE AND PROPER JOB AND SHALL SURVEY THE SITE PRIOR TO BID.
6. THE CONTRACTOR SHALL PERFORM ALL PREPARATION WORK AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR A COMPLETE AND PROPER JOB. SURVEY SITE PRIOR TO BID TO VERIFY EXTENT OF REQUIRED PREPARATION WORK.
7. ALL WORK AND MATERIALS SHALL BE IN FULL CONFORMANCE WITH THE LATEST FEDERAL, STATE AND LOCAL CODES, LAWS, AND ORDINANCES, INCLUDING THEIR MOST RECENT REVISIONS, AMENDMENTS, AND INTERPRETATIONS.
8. DO NOT SCALE DRAWINGS - THE GENERAL CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY CONFLICTS BETWEEN THESE DOCUMENTS AND ANY UNRESOLVED EXISTING CONDITIONS OR OTHER SIMILAR PROBLEMS THAT MAY BE FOUND REQUIRING RESOLUTION.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE CONSTRUCTION DOCUMENTS FOR REVIEW AND SECURING ALL REQUIRED PERMITS.
10. SEALANT IS REQUIRED AROUND ALL FRAMES, OPENINGS, EXPANSION OR CONTROL JOINTS AND BETWEEN DISJUNCT MATERIALS INDICATED OR OTHERWISE. USE SEALANT AS SPECIFIED IN THE ARCHITECT'S SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSULTING WITH THE ARCHITECT TO RESOLVE SEALANT REQUIREMENT WHERE 2 OR MORE PRODUCTS MAY BE SUITABLE AND FOR COLOR SELECTION.
11. REPETITIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
12. CONTRACTOR TO PAINT ALL INTERIOR WALL SURFACES.

GEORGE TAYLOR JR HOUSE RENOVATION

PROJECT #: 13-006 DATE: 06/28/2013

CAD DWG FILE: DRAWN BY: CHECKED BY:

FIRST FLOOR PLAN

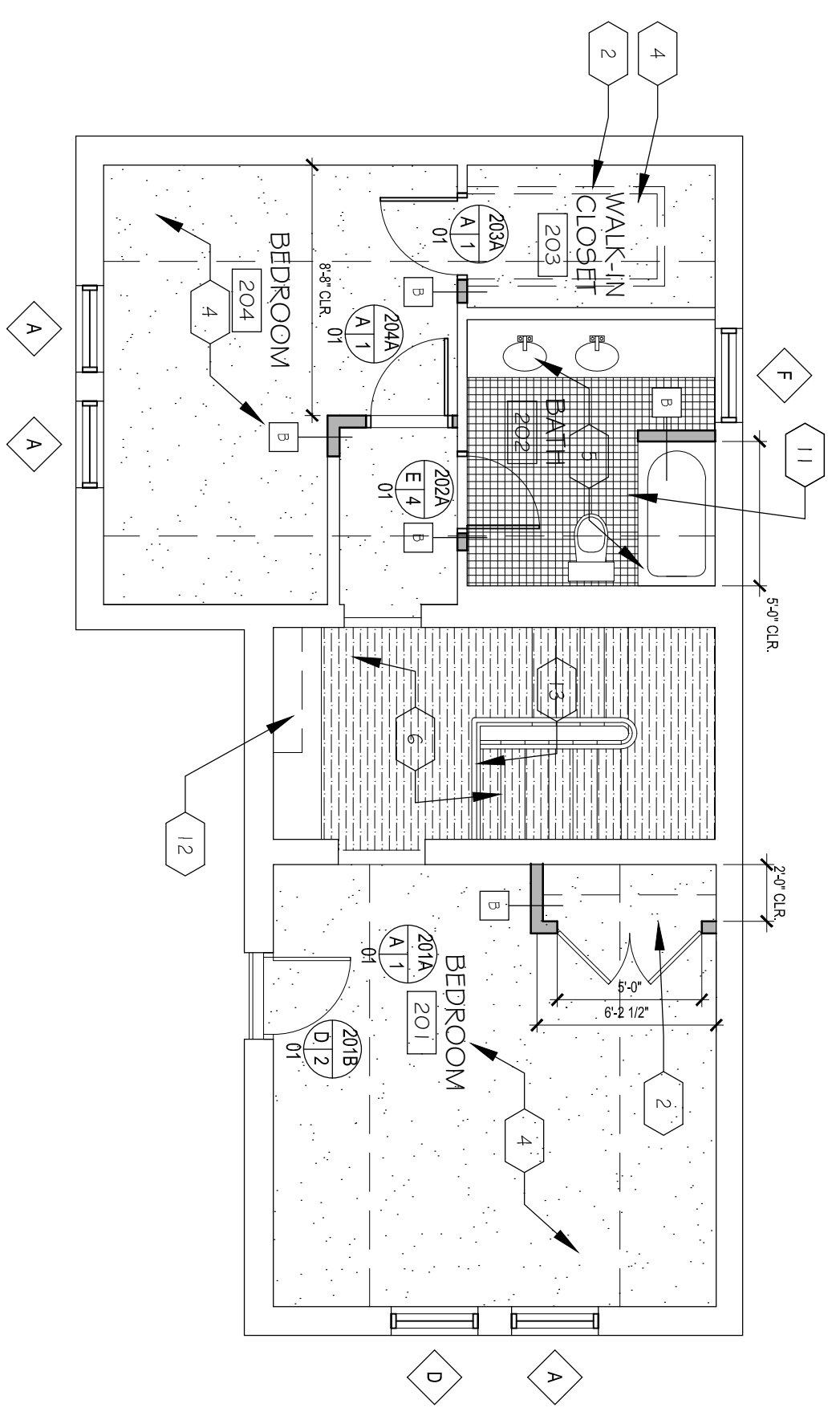
AE101

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SECOND FLOOR PLAN

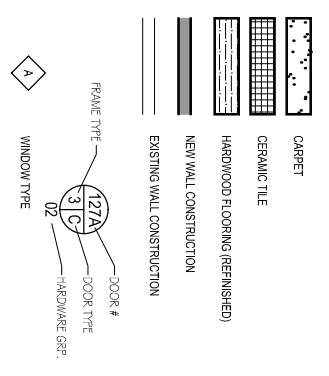
SCALE: 3/16" = 1'-0"



REFERENCE NOTES

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LEGEND



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8. DO NOT SCALE DRAWINGS - THE GENERAL CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY CONFLICTS BETWEEN THESE DOCUMENTS AND ANY UNRESOLVED EXISTING CONDITIONS OR OTHER SIMILAR PROBLEMS THAT MAY BE FOUND REQUIRING RESOLUTION.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE CONSTRUCTION DOCUMENTS FOR REVIEW AND SECURING ALL REQUIRED PERMITS.
10. SEALANTS IS REQUIRED AROUND ALL FRAMES, OPENINGS, EXPANSION OR CONTROL JOINTS AND BETWEEN DISJUNCT MATERIALS INDICATED OR OTHERWISE. USE SEALANT AS SPECIFIED IN THE CONTRACT DOCUMENTS AND AS REQUIRED BY THE ARCHITECT TO RESOLVE SEALANT REQUIREMENT WHERE OR MORE PRODUCTS MAY BE SUITABLE AND FOR COLOR SELECTION.
11. REPETITIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
12. CONTRACTOR TO PAINT ALL INTERIOR WALL SURFACES.

GEORGE TAYLOR JR HOUSE RENOVATION

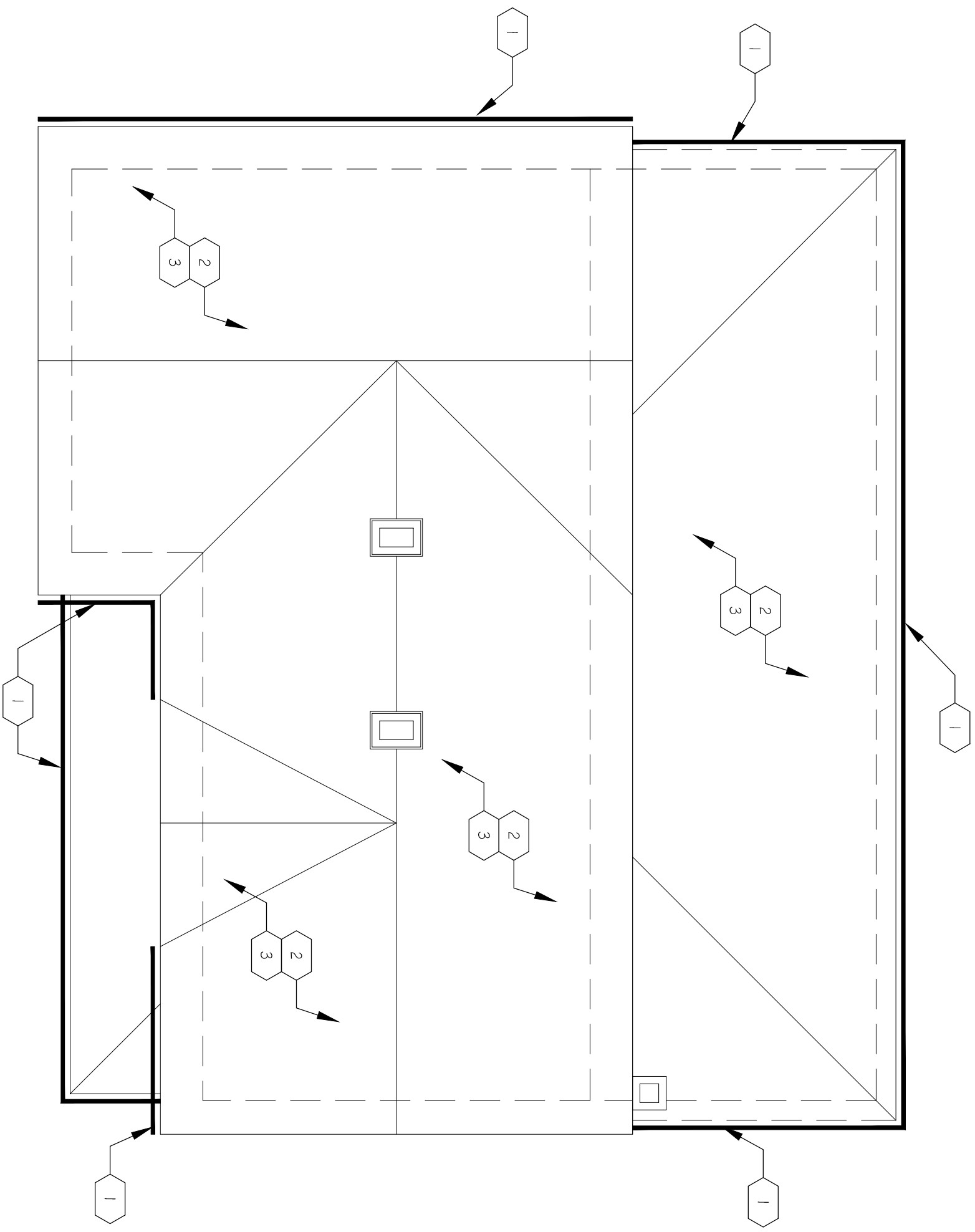
PROJECT #: 13-006 DATE: 06/28/2013

CAD DWG FILE: DRAWN BY: CHECKED BY:

SECOND FLOOR PLAN

AE102

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A

ROOF PLAN

SCALE: 3/16" = 1'-0"

REFERENCE NOTES

1. NEW GALVANIZED 4" HALF ROUND GUTTER AND DOWNSPOUT.
2. NEW ARCHITECTURAL ASPHALT SHINGLES
3. NEW ROOF FLASHING AND ROOFING ACCESSORIES

VENTILATION SUMMARY

AREA S.F.	REQUIRED VENTILATION
1,705 S.F.	113 S.F.

ROOF DRAINAGE SUMMARY

AREA S.F.	MOD. FACT.	AREA MOD.
1,705 S.F.	1.10	1,875 S.F.

NOTES: BECAUSE OF HISTORIC NATURE OF BUILDING, GUTTERS & DOWNSPOUTS ARE ONLY BEING PROVIDED @ ENTRANCES. ELSEWHERE, ROOF DRAINAGE WILL BE ALLOWED TO DRAIN INTO LANDSCAPE.

GENERAL NOTES

- A. CONTRACTOR SHALL VERIFY THAT EXISTING CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES.
- B. DRAWINGS SHOW PRINCIPAL AREAS OF WORK. INCIDENTAL REPAIRS, RELOCATIONS, REPLACEMENTS, PATCHING AND REPAIRING MAY ALSO BE NECESSARY IN CERTAIN AREAS. THIS INCIDENTAL WORK, ALTHOUGH NOT NECESSARILY SHOWN ON THE DRAWINGS IS ALSO A PART OF THE CONTRACT.
- C. DRAWINGS INDICATE AREAS OF VISIBLE DAMAGE TO STONE AND BRICK UNITS. IF DAMAGED AREAS TO STONE OR BRICK ELEMENTS ARE ENCOUNTERED IT IS THE CONTRACTORS RESPONSIBILITY TO EXECUTE THE SAME LEVEL OF REPAIR AS INDICATED ELSEWHERE IN THE DRAWINGS.
- D. ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON THE DRAWINGS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- E. DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- H. MASONRY JOINT REPAIR 20% OF TOTAL AREA. ON NORTH, EAST, SOUTH AND WEST ELEVATIONS, CUT-OUT ALL LOOSE OR DAMAGED MORTAR FROM WITHIN EXPOSED MASONRY JOINTS. LEAVE ONLY MORTAR WHICH IS UNDAMAGED, NOT EXCESSIVELY WEATHERED, AND WHICH IS FULLY ADHERED TO SURROUNDING SURFACES. RE-POINT ALL JOINTS WHERE MORTAR IS REMOVED, DISPLACED OR DAMAGED. ALL MORTAR REPOINTING SHOULD USE APPROPRIATE HISTORIC MORTAR MATCHING ORIGINAL COLOR, TEXTURE, ETC.
- I. CONTRACTOR RESPONSIBLE TO REMOVE PAINT FROM MASONRY ELEMENTS.
- J. ALL WOOD WINDOW SILL REPAIR IS PART OF THE CONTRACT. ALL SILLS SHALL BE REPOINTED AND CALUKEK AND REPAIRED AS NECESSARY.
- K. REMOVE UNUSED ANCHORS AND ATTACHMENTS FROM MASONRY AND PATCH OR REPOINT OPENING AS REQUIRED.
- L. NOTIFY ARCHITECT IF ASBESTOS OR HAZARDOUS MATERIALS, SUCH AS LEAD PAINT, ARE DISCOVERED.

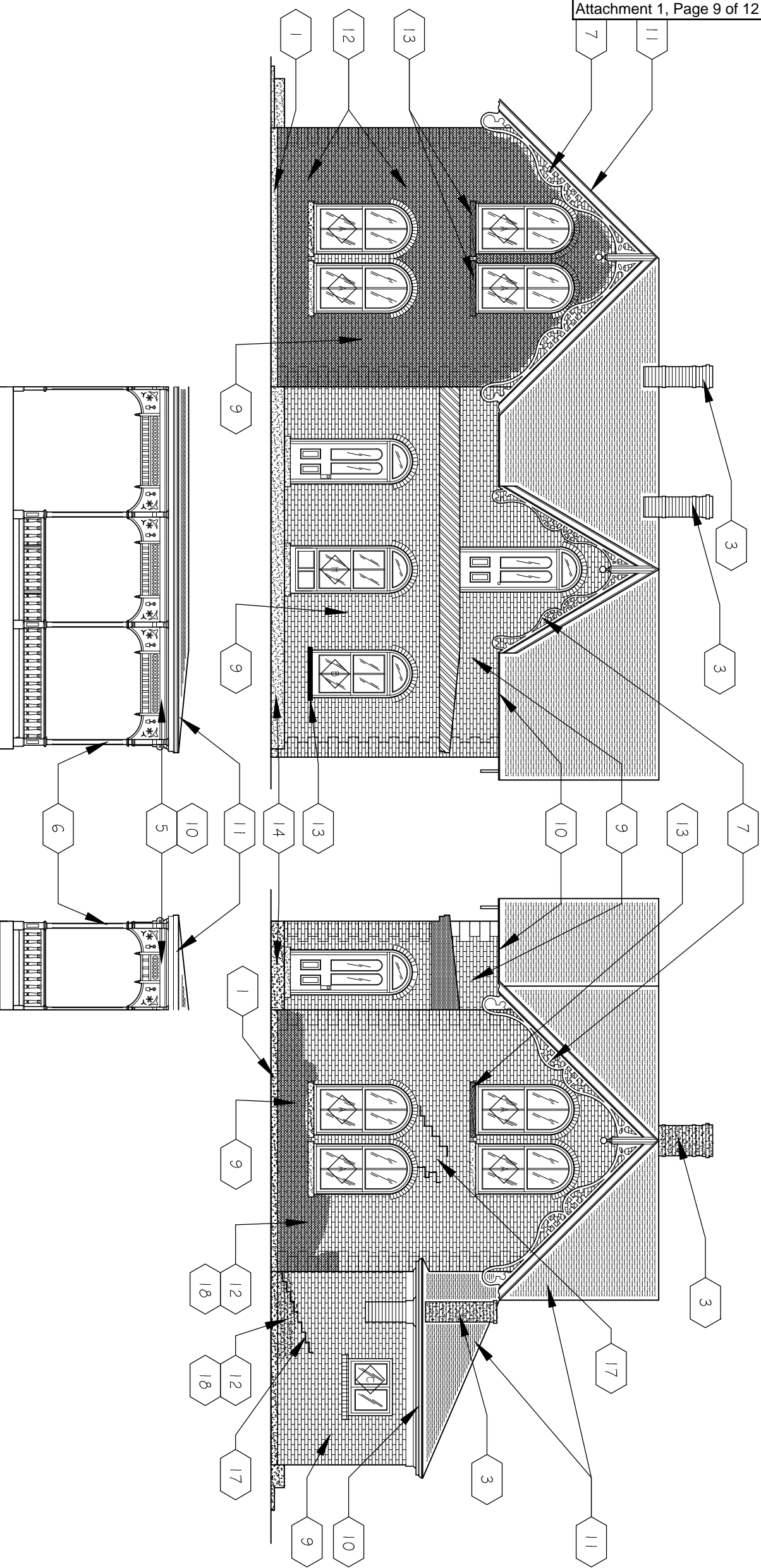
GEORGE TAYLOR JR HOUSE RENOVATION

PROJECT #: 13-006 DATE: 06/28/2013

CAD DWG FILE: CHECKED BY:

DRAWN BY: ROOF PLAN AE103

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A

EAST ELEVATION

SCALE: 1/8" = 1'-0"

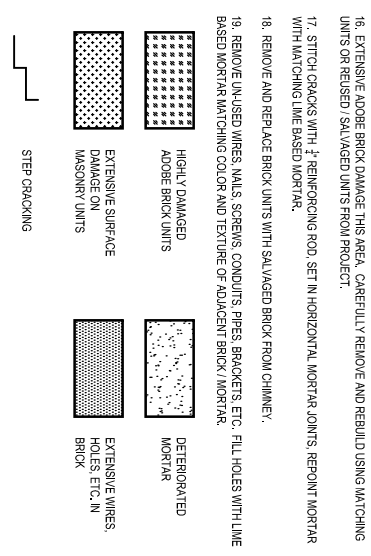
B

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

REFERENCE NOTES

1. REPOINT ALL FOUNDATION STONE JOINTS.
2. INFILL BOTTOM OF EXISTING OPENING TO MATCH ADJACENT BRICK.
3. REPAIR BRICK AND REPOINT CHIMNEY. SEE GENERAL NOTES.
4. REBUILD CONCRETE STOOP.
5. REPAIR AND/OR REPLACE WOOD SOFFIT.
6. REPAIR AND/OR REPLACE AND REPAINT EXISTING PORCH ELEMENTS.
7. REPAIR AND/OR REPLACE AND REPAINT EXISTING GABLE DECORATION.
8. REMOVE EXISTING GUTTER BRACKETS BELOW SOFFIT.
9. REMOVE PAINT FROM BRICK IN ALL LOCATIONS. SEE GENERAL NOTES.
10. INSTALL GUTTER AND DOWNSPOUT. SEE ROOF PLAN.
11. NEW ROOFING. SEE ROOF PLAN.
12. CUT-OUT ALL LOOSE OR DAMAGED MORTAR FROM WITHIN EXPOSED MASONRY JOINTS. LEAVE ONLY MORTAR WHICH IS UNDAMAGED. NOT EXCESSIVELY WEATHERED, AND WHICH IS FULLY ADHERED TO SURROUNDING SURFACES. RE-POINT ALL JOINTS WHERE MORTAR IS REMOVED. DISPLACE OR DAMAGED ALL MORTAR REPOINTING SHOULD USE APPROPRIATE HISTORIC MORTAR MATCHING ORIGINAL COLOR, TEXTURE, ETC.
13. REPAIR AND/OR REPLACE EXISTING WOODEN SILL / HEADERS.
14. SEE STRUCTURAL FOR NEW CONCRETE SLAB DESIGN.
15. NOT USED.
16. EXTENSIVE ADOBE BRICK DAMAGE THIS AREA. CAREFULLY REMOVE AND REBUILD USING MATCHING UNITS OR REUSED / SALVAGED UNITS FROM PROJECT.
17. STITCH CRACKS WITH #2 REINFORCING ROD. SET IN HORIZONTAL MORTAR JOINTS. REPOINT MORTAR WITH MATCHING LINE BASED MORTAR.
18. REMOVE AND REPLACE BRICK UNITS WITH SALVAGED BRICK FROM CHIMNEY.
19. REMOVE UNUSED WIRES, WALL SCREENS, CONDUTTS, PIPES, BRACKETS, ETC. FILL HOLES WITH LINE BASED MORTAR MATCHING COLOR AND TEXTURE OF ADJACENT BRICK / MORTAR.



GENERAL NOTES

- A. CONTRACTOR SHALL VERIFY THAT EXISTING CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES.
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- E. DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- H. MASONRY JOINT REPAIR 125% OF TOTAL AREA. ON NORTH EAST SOUTH AND WEST ELEVATIONS CUT-OUT ALL LOOSE OR DAMAGED MORTAR FROM WITHIN EXPOSED MASONRY JOINTS. LEAVE ONLY MORTAR WHICH IS UNDAMAGED. NOT EXCESSIVELY WEATHERED, AND WHICH IS FULLY ADHERED TO SURROUNDING SURFACES. RE-POINT ALL JOINTS WHERE MORTAR IS REMOVED. DISPLACE OR DAMAGED ALL MORTAR REPOINTING SHOULD USE APPROPRIATE HISTORIC MORTAR MATCHING ORIGINAL COLOR, TEXTURE, ETC.
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- L. NOTIFY ARCHITECT IF ASBESTOS OR HAZARDOUS MATERIALS, SUCH AS LEAD PAINT, ARE DISCOVERED.
- M. STRIP EXTERIOR PAINT FROM BRICK USING DIAMOND CHEMICALS FEEL AWAY 1, OR EQUIVALENT.
- N. REPLACE THE SEVERELY DETERIORATED UNITS. REPOINT MORTAR WITH A NATURAL HYDRAULIC LIME (NHL) MORTAR.
- O. TREAT ALL EXTERIOR BRICK / ADOBE WALL FACES WITH PROSOCO HD, OR EQUIVALENT.
- P. CRACK STITCH AT CRACK LOCATIONS.
- Q. UTILIZE CHIMNEYS AS A SOURCE FOR BRICK REPLACEMENT BRICK FOR AREAS AROUND THE HOUSE WHERE NEW UNITS ARE REQUIRED. REBUILD CHIMNEYS USING A MATCHING HISTORIC NEW BRICK.

GEORGE TAYLOR JR HOUSE RENOVATION

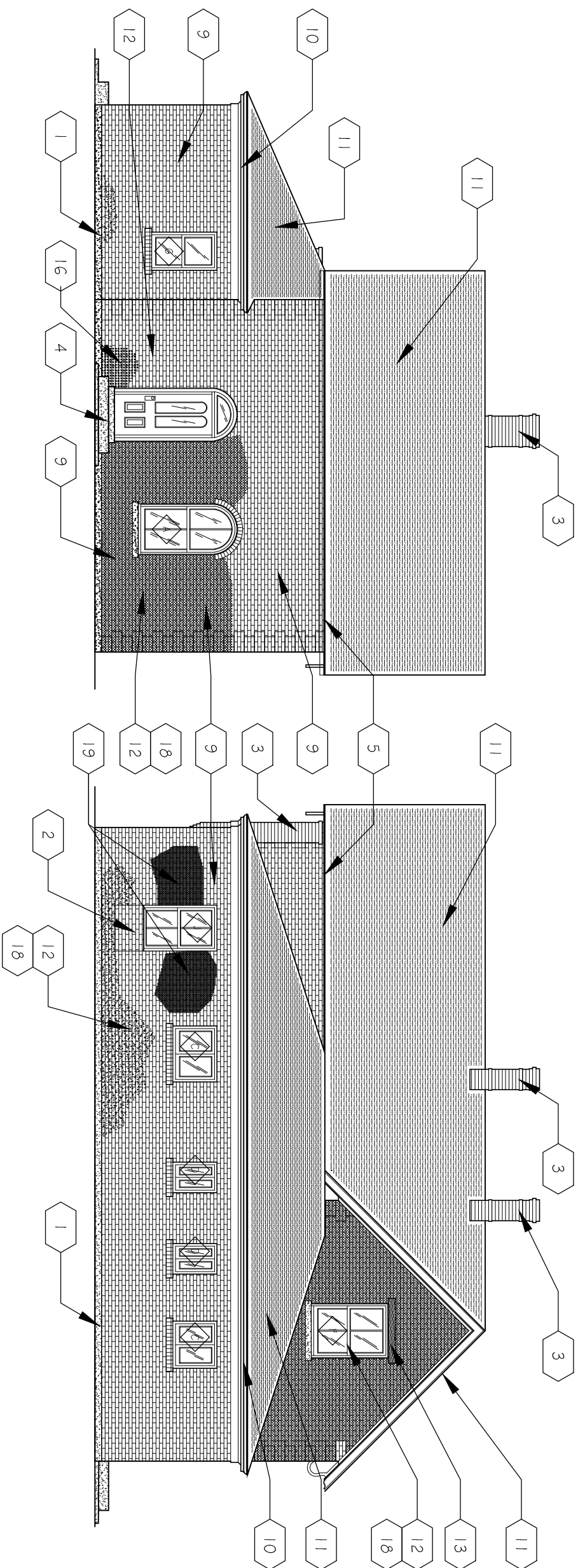
PROJECT #: 13-006 DATE: 06/28/2013

CAD DWG FILE: DRAWN BY: CHECKED BY:

EXTERIOR ELEVATIONS

AE201

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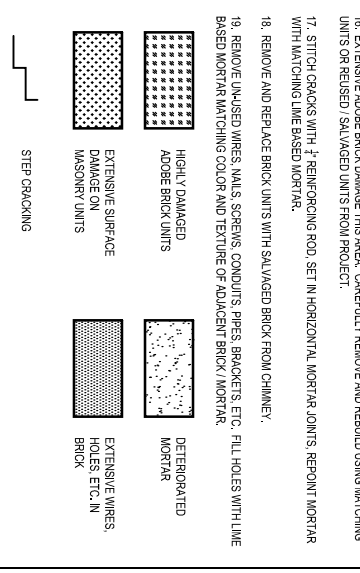


A
 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

B
 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

7 REFERENCE NOTES

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2. IN FILL BOTTOM OF EXISTING OPENING TO MATCH ADJACENT BRICK.
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- E. DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- H. MASONRY JOINT REPAIR 10% OF TOTAL AREA. ON NORTH EAST SOUTH AND WEST ELEVATIONS CUT-OUT ALL LOOSE OR DAMAGED MORTAR FROM WITHIN EXPOSED MASONRY JOINTS. LEAVE ONLY MORTAR WHICH IS UNDAMAGED, NOT EXCESSIVELY WEATHERED, AND WHICH IS FULLY ADHERED TO SURROUNDING SURFACES. RE-POINT ALL JOINTS WHERE MORTAR IS REMOVED, DISPLACED OR DAMAGED. ALL MORTAR REPOINTING SHOULD USE APPROPRIATE HISTORIC MORTAR, MATCHING ORIGINAL COLOR, TEXTURE, ETC.
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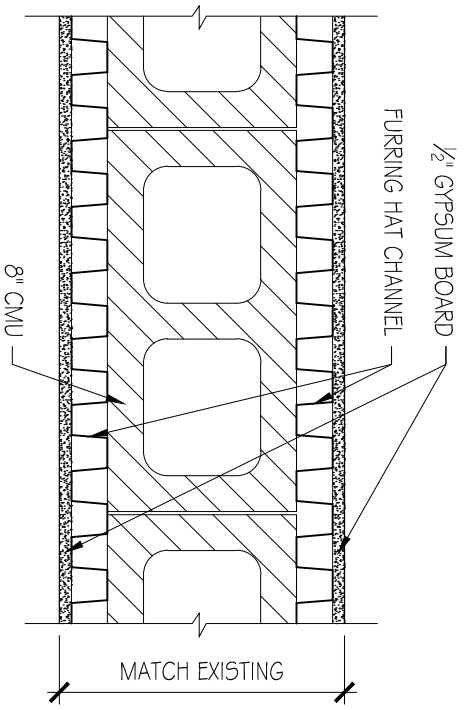
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GEORGE TAYLOR JR HOUSE RENOVATION

PROJECT #: 13-006 DATE: 06/28/2013

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 CHECKED BY:

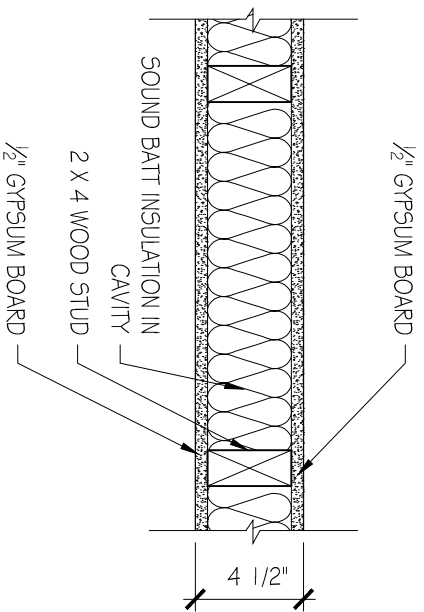
EXTERIOR ELEVATIONS
 AE202



A

WALL TYPES

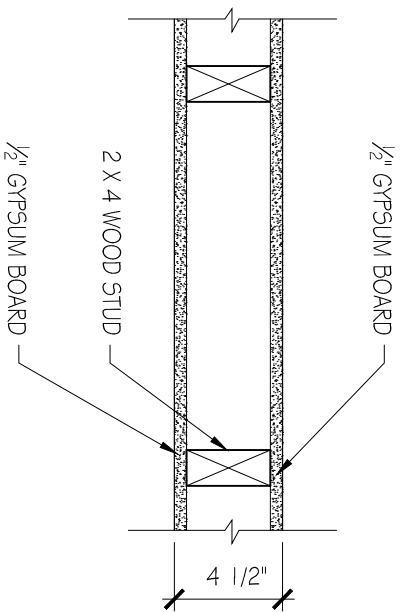
SCALE: 1 1/2" = 1'-0"



B

WALL TYPES

SCALE: 1 1/2" = 1'-0"



C

WALL TYPES

SCALE: 1 1/2" = 1'-0"

GEORGE TAYLOR JR HOUSE RENOVATION

PROJECT #: 13-006 DATE: 06/28/2013

CAD DWG FILE:
 DRAWN BY:
 CHECKED BY:

WALL TYPES AE501

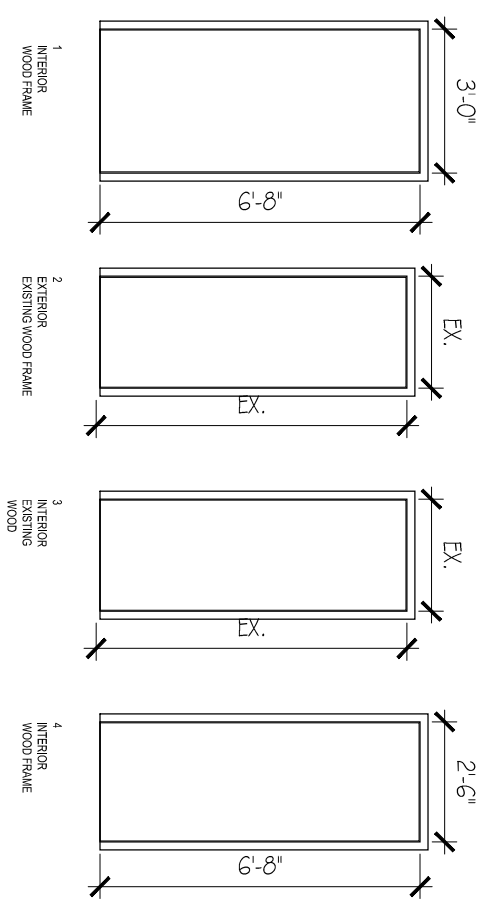
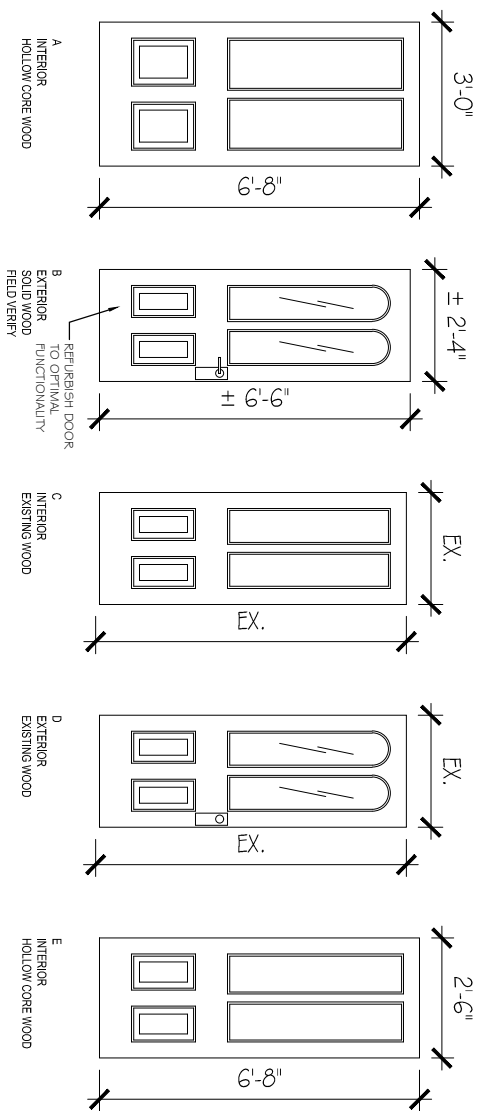
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DOOR TYPES

FRAME TYPES

LEGEND

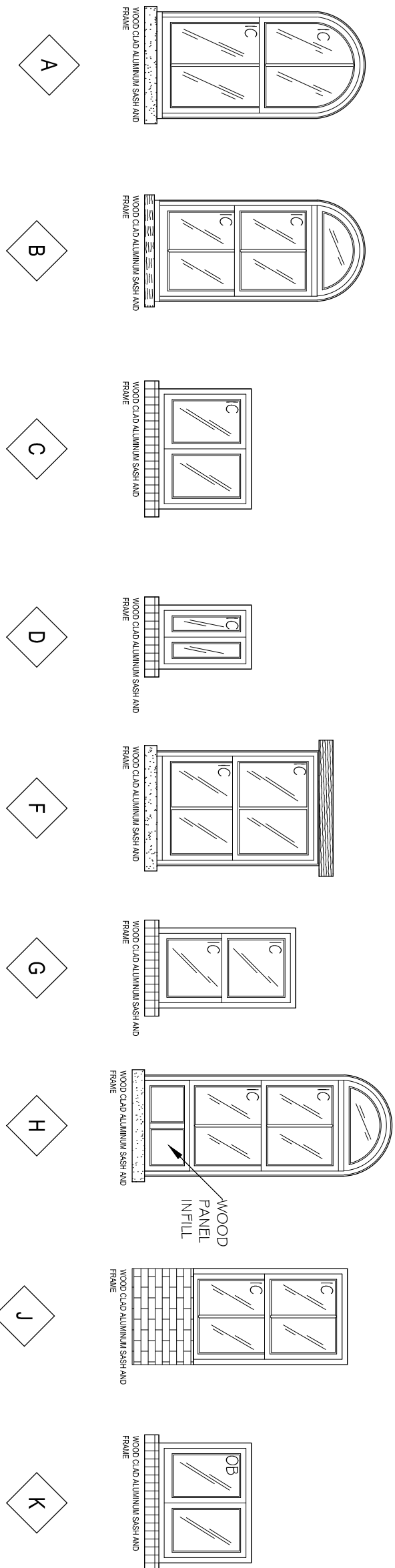
* FIELD VERIFY OPENING DIMENSIONS ON ALL EXISTING OPENINGS



GLASS TYPES:
 IC: CLEAR INSULATED GLASS
 OB: OBSCURE INSULATED GLASS

WINDOW TYPES

* FIELD VERIFY OPENING DIMENSIONS ON ALL EXISTING OPENINGS



GENERAL NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS.
2. DATUM ELEVATION REFERENCE = ELEV. 100.0'.
3. IF ANY CONFLICT IS FOUND BETWEEN ANY OF THE CONTRACT DOCUMENTS, THE MOST STRINGENT REQUIREMENT(S) SHALL APPLY AND BE PART OF THIS CONTRACT.
4. ALL GENERAL CONTRACTORS, SUBCONTRACTORS AND SUB-SUBCONTRACTORS SHALL BE LICENSED TO WORK IN THE STATE OF UTAH.
5. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION & NEW CONSTRUCTION AS SHOWN ON THE PLANS AS REQUIRED FOR A COMPLETE AND PROPER JOB AND SHALL SURVEY THE SITE PRIOR TO BID.
6. THE CONTRACTOR SHALL PERFORM ALL PREPARATION WORK AS SHOWN ON THE DRAWINGS AND AS SPECIFIED BY THE ARCHITECT AND PROPER JOB. STARTER SITE PICK TO BID TO PERMIT EXTENT OF REQUIRED PREPARATION WORK.
7. ALL WORK AND MATERIALS SHALL BE IN FULL CONFORMANCE WITH THE LATEST FEDERAL, STATE AND LOCAL CODES, LAWS, AND ORDINANCES, INCLUDING THEIR MOST RECENT REVISIONS, AMENDMENTS, AND INTERPRETATIONS.
8. DO NOT SCALE DRAWINGS - THE GENERAL CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY CONFLICTS BETWEEN THESE DOCUMENTS AND ANY UNRESOLVED EXISTING CONDITIONS OR OTHER SIMILAR PROBLEMS THAT MAY BE FOUND REQUIRING RESOLUTION.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE CONSTRUCTION DOCUMENTS FOR REVIEW AND SECURING ALL REQUIRED PERMITS.
10. SEALANT IS REQUIRED AROUND ALL FRAMES, OPENINGS, EXPANSION OR CONTROL JOINTS AND BETWEEN DISSIMILAR MATERIALS, INDICATED OR OTHERWISE. USE SEALANT AS SCHEDULED, SPECIFIED OR AS RECOMMENDED BY MANUFACTURER FOR CONDITIONS REQUIRED. CONSULT WITH ARCHITECT TO RESOLVE SEALANT REQUIREMENT WHERE 2 OR MORE PRODUCTS MAY BE SUITABLE AND FOR COLOR SELECTION.
11. REPERTIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
12. CONTRACTOR TO PAINT ALL INTERIOR WALL SURFACES.

A1

DOOR AND WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"



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GEORGE TAYLOR JR HOUSE RENOVATION

PROJECT #: 13-006 DATE: 06/28/2013

CAD DWG FILE: DRAWN BY: CHECKED BY:

DOOR AND WINDOW SCHEDULE AEG01

**United States Department of the Interior
Heritage Conservation and Recreation Service**

**National Register of Historic Places
Inventory—Nomination Form**

See instructions in *How to Complete National Register Forms*
Type all entries—complete applicable sections

For HCRS use only

received JUN 27 1983

date entered

1. Name

historic Taylor, George Jr., House

and/or common

2. Location

street & number 187 North 400 West _____ not for publication

city, town Provo _____ vicinity of ~~congressional district~~

state Utah code 049 county Utah code 049

3. Classification

Category	Ownership	Status	Present Use
<input type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input checked="" type="checkbox"/> commercial
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational
<input type="checkbox"/> site	Public Acquisition	Accessible	<input type="checkbox"/> entertainment
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input checked="" type="checkbox"/> yes: restricted	<input type="checkbox"/> government
	N/A <input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial
		<input type="checkbox"/> no	<input type="checkbox"/> military
			<input type="checkbox"/> museum
			<input type="checkbox"/> park
			<input type="checkbox"/> private residence
			<input type="checkbox"/> religious
			<input type="checkbox"/> scientific
			<input type="checkbox"/> transportation
			<input type="checkbox"/> other:

4. Owner of Property

name Dale H. Taylor

street & number c/o Craig Call
P.O. Box 231

city, town Provo _____ vicinity of _____ state Utah

5. Location of Legal Description

courthouse, registry of deeds, etc. Utah County Courthouse

street & number 42 N. University Avenue

city, town Provo _____ state Utah

6. Representation in Existing Surveys

title Utah Historic Sites Inventory-Provo has this property been determined eligible? _____ yes no

date Summer 1980 _____ federal state _____ county _____ local

depository for survey records Utah State Historical Society

city, town Salt Lake City _____ state Utah

7. Description

Condition		Check one	Check one
<input checked="" type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input type="checkbox"/> unaltered	<input checked="" type="checkbox"/> original site
<input type="checkbox"/> good	<input type="checkbox"/> ruins	<input checked="" type="checkbox"/> altered	<input type="checkbox"/> moved date _____
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed		

Describe the present and original (if known) physical appearance

The George Taylor, Jr., House, built in the 1880s, is a one-and-a-half story brick structure on a rubble stone foundation. It is a gable roof, cross wing, vernacular house type with Gothic Revival styling. The cross wing plan is a version of the modified temple plan made popular by the Greek Revival. It was a common plan available to the nineteenth century builder and one propagated through house pattern books to which decorative ornament from any of the prevailing styles was individually or eclectically applied. Carpenter Gothic and Eastlake trim add lacy, intricate ornament to this simple house plan. The house is distinguished as one of only three existing examples in Provo that exhibit the influence of Gothic Revival residential architecture as applied to vernacular house forms. It also has a unique combination of Classical quoins and round arched windows. An addition was made to the back of the house about 1910 and other minor alterations were made during a 1970s restoration project.

This cross wing form house has a gabled wing perpendicular to the main house body. The gable facade is moderately narrow and gives a Gothic feeling of verticality in its two story height with its tall, moderately steeply pitched gable roof. The gable end is decorated with gingerbread bargeboard and a central pendant. This same decoration is repeated in the center gable of the broadside of the cross wing and its end gable. Both gable ends are pierced by paired, round-arched windows with radiating brick voussoirs. These double-hung sash windows are divided by muntins into four lights each. The casing and slipsills are painted white, as is the wooden trim on the rest of the house.

The broadside of the cross-wing is spanned by an elaborate, one story Eastlake porch. A balustrade with turned spindles at the ground level is complemented by an intricate porch frieze that is delicately pierced and has short spindles. Squared, chamfered posts, which represent stylized pillars, on panelled pedestals, support the roof. Springing from the pillar abacus are scroll brackets and side brackets with cutout patterns. Pendants mark the termination of the side brackets where they meet the freize. Much of this wooden porchwork and the wooden bargeboard is not original, but it duplicates as nearly as possible the original woodwork which was replaced during the 1970 restoration due to deterioration. Historic photographs were scaled and the existing elements copied to duplicate the original ornamentation.

Round arches with radiating brick voussoirs are also used for the doorways and other windows on the house. The doorways, all identical, are recessed and topped with lunette shaped glass transoms. Each door has four panels, two tall glass panels with round arched heads over two moulded wooden panels. There are three doors in the porch area, one on the side of the gable facade, and two on the broadside of the cross-wing. There is a door centered over the front porch under the center gable, and also a door and window on the side of the house. Brick quoins decorate the corners of the house and overhanging eaves emphasize the roofline.

OMB
E/P

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Inventory—Nomination Form**

For NPS use only
received JUN 27 10 33
date entered

Continuation sheet 1

Item number 7

Page 2

A one-story brick rear addition was attached to the house around 1910. It has a boxed cornice with a plain frieze and casement windows. Each side has one window and the rear facade has one door and four windows. The roof of the addition covers a part of a window in an offset gable at the rear of the house. The addition does not detract from the original historic appearance of the house.

8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> humanitarian
<input checked="" type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> theater
<input type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> transportation
		<input type="checkbox"/> invention		<input type="checkbox"/> other (specify)

Specific dates c. 1880s **Builder/Architect** Unknown

Statement of Significance (in one paragraph)

The George Taylor, Jr., House, built in the 1880s, is significant as an important example of the cross-wing house type in Utah. The cross-wing plan, a predominant form of late nineteenth century construction, is characterized by a floorplan which has a two-room, forward-projecting wing placed across a single room side wing,¹ and is normally one-and-a-half or two stories high. Looking from above, the massing of the cross-wing house resembles either a "T" or an "L", plus it may have any number of extensions to the rear. The origins of the cross-wing house form can be traced back to the popular gable-facade, or temple-form, houses of the early and mid-nineteenth century.² Cross-wing plans were conspicuous in the house pattern books of the post-Civil War era³ and became particularly popular in the late nineteenth century Utah vernacular building tradition. The basic cross-wing house plan provided a structural form around which decorative ornament was applied from the then current range of high style designs. In Utah, the cross-wing type is often closely associated with the Italianate and Second Empire styles, but is found in a number of highly eclectic configurations. (See Appendix I)⁴ The design, ranging from the simple to the complex, could incorporate porches, bays, and turrets, and could be found with or without an internal passageway containing the staircase. The central-passage cross-wing house, of which the Taylor House is a good example, was usually larger and more elaborately embellished than other cross-wing forms. The Taylor House, which outwardly displays a combination of Victorian decorative styles, has a moderately pitched roof with a center gable and end gables ornamented with scroll-cut bargeboards and pendants that give the house a Gothic Revival identity. The design also brings together such diverse elements as quoins, round arched window and door openings, and a spindled Eastlake porch. These elements, the house plan and its particular combination of decorative ornament, make the Taylor House one of the two best examples of the important cross-wing house in Provo, and one of the best documented examples in the state.⁵ Also, the Taylor House is one of only three existing residential examples in Provo identified in a 1980 survey that have Gothic Revival trim; therefore it is important in documenting the influence of Gothic Revival architecture in Provo, and the manner in which Gothic Revival elements were applied in Utah, being utilized as decorative ornament attached to vernacular house forms.

The cross-wing house type became popular in the late nineteenth century through a process of popular selection. The house originated in the Greek temple-form house which had a front entrance on the gable facade. The cross-wing form developed as one or two side wings were added and the entrance was eventually moved to a side wing. This modified temple plan became a standard vernacular form and served as the prototype for the cross-wing plans

9. Major Bibliographical References

Carter, Tom. "Utah's Vernacular Landscape: A Preservation Method," Utah Preservation/Restoration Volume IV (in Press).
 Downing, Andrew Jackson. The Architecture of Country Houses. New York: Dover, 1969
 reprinting of 1850 edition. (see continuation sheet)

10. Geographical Data

Acreeage of nominated property less than one
 Quadrangle name Provo Quadrangle scale 1:24000

UMT References

A	<u>1</u> <u>2</u>	<u>4</u> <u>4</u> <u>3</u> <u>4</u> <u>2</u> <u>0</u>	<u>4</u> <u>4</u> <u>5</u> <u>3</u> <u>8</u> <u>4</u> <u>0</u>	B			
	Zone	Easting	Northing		Zone	Easting	Northing
C				D			
E				F			
G				H			

Verbal boundary description and justification Provo City Survey

Commencing NE corner Block 84, Plat A, thence S 99 feet, W 99.41 feet, N 99 feet, E 99.41 feet to point of beginning.

List all states and counties for properties overlapping state or county boundaries

state	<u>N/A</u>	code	county	<u>N/A</u>	code
state	<u>N/A</u>	code	county	<u>N/A</u>	code

11. Form Prepared By

name/title Tom Carter, Architectural Historian/ Cheryl Hartman, Research Analyst
 organization Utah State Historical Society date February 1983
 street & number 300 Rio Grande telephone (801) 533-6017
 city or town Salt Lake City state Utah

12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

national state local

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the Heritage Conservation and Recreation Service.

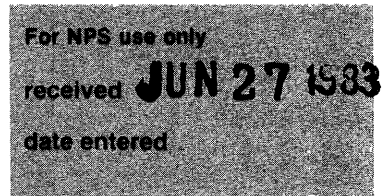
State Historic Preservation Officer signature A. Kent Powell

title A. Kent Powell, Deputy State Historic Preservation Officer date 6-16-83

For HCRS use only	
I hereby certify that this property is included in the National Register	
<u>Pell Grosvenor</u>	date <u>8/9/83</u>
for Keeper of the National Register	
Attest:	date
Chief of Registration	

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
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Continuation sheet 2

Item number 8

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of the house pattern books. The cross-wing type, popular in Utah, was one of the common choices available in the vernacular building tradition, and individual variety in houses was achieved by the application of decorative elements from any of, or a mixture of, the current styles.

The Taylor House is an "L" shaped cross-wing plan that has a side wing, containing one room and a central hall, which is perpendicular to a forward projecting gable wing with two rooms. Elements of the Gothic Revival style are used to ornament the house with decorative bargeboards on moderately pitched roofs, and a center gable on the cross-wing. Typical of late-nineteenth century eclecticism, round-arched windows rather than pointed Gothic windows are used on the house, and Classical Quoins and an Eastlake porch add to the architectural composition.

The original owner, George Taylor, Jr., was born on August 31, 1864 in Provo. His father, George Taylor Sr., founded the Taylor Furniture Store in 1866, the first in Provo. In 1890 the business was incorporated as the Taylor Brothers Company with George, Jr., as vice-president and his mother, Eliza Nicholls Taylor as president. The business expanded, and with new lines of products and new departments, the Taylor Brothers Company became the first big "department store" in Provo.⁶

In December of 1884, George, Jr., married Sarah Elizabeth Thomas in Manti. Sometime after, he built this house in Provo with the help of his father-in-law, a mason. In 1891 the house was sold to Joseph F. Andrew who sold it in 1894 to Joseph D. Jones, a local probate judge and entrepreneur. Jones sold the house in 1899 to John D. Dixon. The residence remained in the Dixon family until 1906 when James E. Hosmer acquired the house. Hosmer sold the house to Eliza N. Taylor, and she in turn sold it to her son George who returned in 1909 to live there until his death in December of 1941. The house presently remains in the Taylor family and is rented as offices.

Notes

¹Tom Carter, "Utah's Vernacular Landscape: A Preservation Method," Utah Preservation/Restoration Volume IV (in press).

²Henry Glassie, Pattern in the Material Folk Culture of the Eastern United States (Philadelphia: University of Pennsylvania Press, 1968), pp. 131-33.

³Andrew Jackson Downing, The Architecture of Country Houses (1850, reprint New York: Dover, 1969). See designs II, IV, VI, XVII, and XX.

⁴See Karl Haglund and Philip Notarianni, The Avenues of Salt Lake City (Salt Lake City: Utah State Historical Society, 1980), pp. 55-56.

**United States Department of the Interior
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Continuation sheet 3

Item number 8

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⁵The other example in Provo, the Erik Henrichsen House at 690 West 300 South, was also identified as a significant building in the Provo survey and is eligible for nomination. Other National Register examples throughout the state include the George H. and George W. Layton Houses, Davis County, the William Culmer House, Salt Lake County; David McDonald House, Salt Lake County; N. S. Nielson House, Sanpete County; Thomas Allen House, Summit County; John Boyden House, Summit County; and the William Myrick House, Summit County.

⁶J. Marinus Jensen, A.M., History of Provo (Provo: New Century Printing Company, 1924), p. 319. The Taylor Brothers Store was listed in the National Register in May of 1980 as part of the Provo Downtown Historic District.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
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Continuation sheet 4

Item number 9

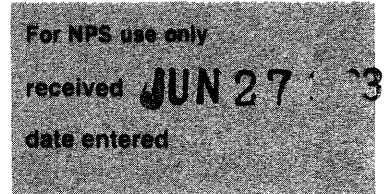
Page 2

Glassie, Henry. Pattern in the Material Folk Culture of the Eastern
United States. Philadelphia: University of Pennsylvania Press, 1968.

Jensen, J. Marinus. History of Provo. Provo: New Century Printing Company, 1924.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Inventory—Nomination Form**



Continuation sheet 5

Item number

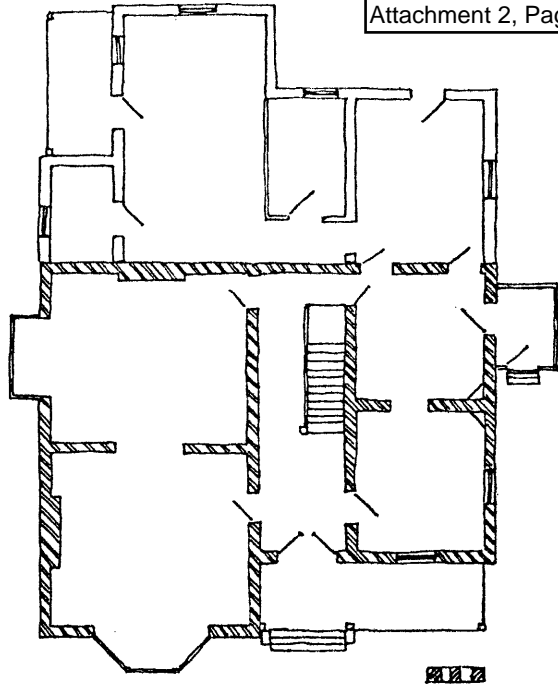
Page

APPENDIX I

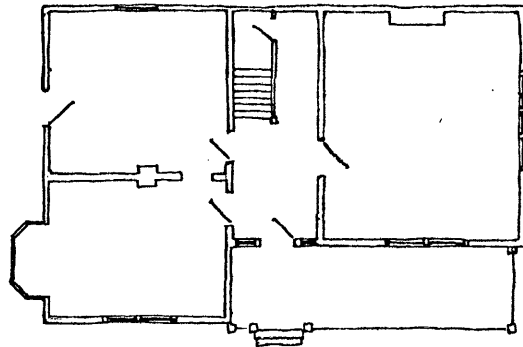
Figures 7A-F: 7A: the Horace Eldredge house, Italianate, c. 1878, West Bountiful (8/6/82); 7B: the Brice W. Sainsbury house, Second Empire, 1881, Salt Lake City (plan courtesy David Merrill); 7C: the George Taylor, Jr. home, Victorian Eclectic, c. 1885, Provo (plan courtesy Craig Call); 7D: the John Boyden house, Victorian Eclectic, 1865, remodeled to present form c. 1885, Coalville (3/80); 7E: the George W. Layton house, Victorian Eclectic, William Allen, architect, c. 1897, Layton (8/2/82); and 7F: the William Myrick house, Eastlake, 1902, Marion (8/9/82). These six Utah houses, while displaying great diversity in external stylistic features, are all examples of what I have chosen to call the "central-hall, Cross-wing" vernacular house type. The Cross-wing house is characterized by a floorplan which has a two-room, forward projecting wing placed across a side wing which contains the central hall. The type is normally found as a 1 1/2 or 2 story house and may have a side wing which is two rooms deep (7A is an example of this double-pile arrangement). Looking from above, the massing of the Cross-wing house resembles either a "T" or an "L" and may have any number of extensions to the rear (the basic house plans are shaded in the drawings). This house form was extremely popular throughout Utah during the late nineteenth-century--a popularity fueled no doubt by the house's similarity to earlier traditional models and its widespread occurrence in the pattern-book catalogues of the period. The plan was utilized in new house construction and also for the remodeling of older homes. The John Boyden house (7D) was originally a smaller 1-story brick home (shaded walls) which was enlarged in the 1880s to resemble the more prestigious Cross-wing type (facade sketches and plan drawings by author).



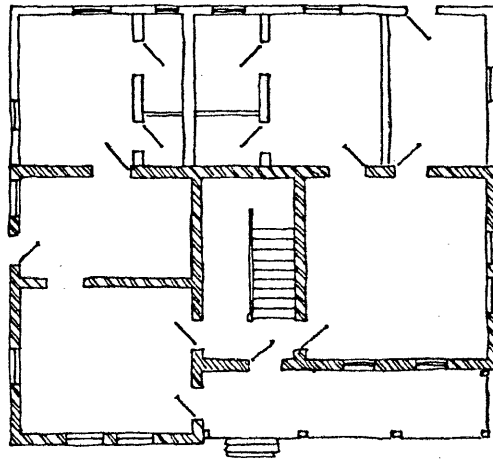
7A



7B

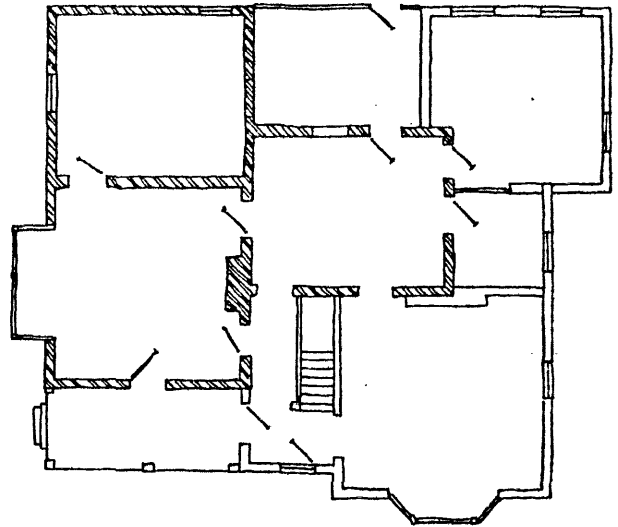


7C

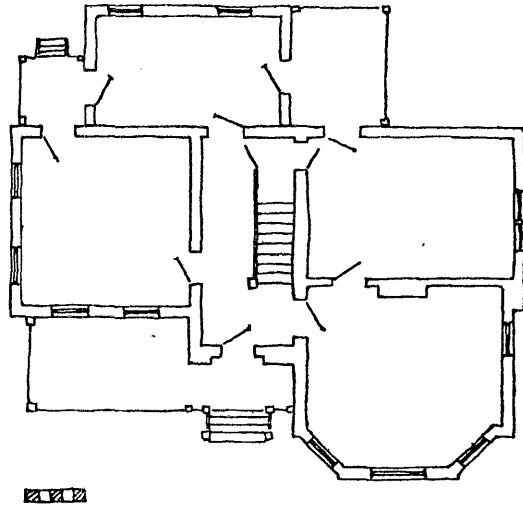




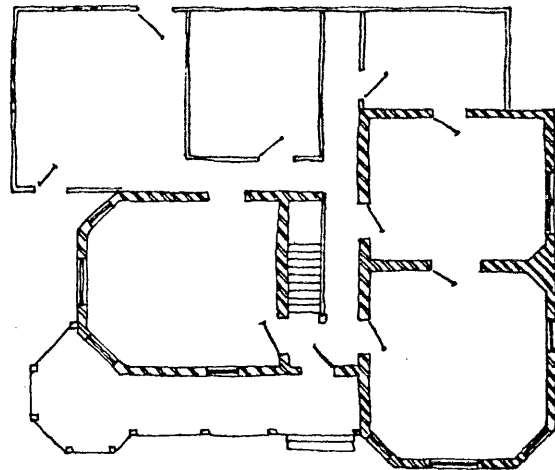
7D



7E



7F





George Taylor Jr. House
Provo, Utah County, Utah

East Facade

Photo by Cheryl Hartman, Spring 1983
Negative at Utah State Historical Society

1 of 2



George Taylor Jr. House
Provo, Utah County, Utah

Northeast corner

Photo by Cheryl Hartman, Spring 1983
Negative at Utah State Historical Society

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