



**Planning Commission  
Staff Report  
Project Plan Approval  
Hearing Date: May 14, 2014**

**ITEM 1** Cowboy Partners requests Project Plan Approval for Liberty Center, a mixed use development located at 310 West Center. **Central Business District Neighborhood** 14-0003PPA

<p>Applicant: Cowboy Partners Staff Coordinator: Josh Yost</p> <p>Property Owner: Provo City Redevelopment Agency Parcel ID#: 04:065:0029 Current Zone: DT-1 General Plan Des.: Downtown Acreage: 1.46 Number of Lots: 1</p> <p><b><u>ALTERNATIVE ACTIONS</u></b></p> <p>1. <b>Continue</b> to a future date to obtain additional information or to further consider information presented. <i>The next available meeting date is June 11, 2014, 5:00 p.m.</i></p> <p>2. <b>Deny</b> the requested Project Plan. <i>This action is not consistent with the recommendations of the staff report. The planning Commission should state new findings.</i></p>	<p>Current Legal Use: Vacant Property</p> <p>Relevant History: The subject property is currently owned by the Provo City Redevelopment Agency and under contract for sale to Cowboy Partners.</p> <p>Neighborhood Issues: None noted.</p> <p>Staff Recommendation: Staff recommends that the Planning Commission approve the Project Plan Application for Liberty Center with the condition that the project complies with noted code requirements and standard departmental approval requirements.</p>
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**OVERVIEW**

Cowboy Partners requests Project Plan Approval for Liberty Center, a mixed use development located at 310 West Center. The proposed project is a four-story mixed use development comprised of 6,465 square feet of ground floor commercial space at the corner of Center Street and 300 West, 3,317 square feet of tenant amenity space and building management offices along 300 West, north of the commercial space, with 120 one and two bedroom rental apartments along the remaining street frontage and in the upper three floors. Parking is

provided in a four-tier parking garage located in the block interior containing 187 automobile parking spaces and 64 bicycle parking spaces.

The project has received initial review by the Coordinator's Review Committee. No major concerns have been raised.

The project has been reviewed by the Design Review Committee. The Committee recommended approval of the project design with conditions. The applicant has consented in writing to the Design Review Committee's recommendation and waived further action by the Planning Commission. Therefore, according to Provo City Code 14.04A.020 (a) the Design Review Committee recommendation shall be considered approved by the Planning Commission and no further review of the project design is required. Revised building elevations reflecting Design Review conditions have not been received at the time of the publishing of this report.

### **FINDINGS OF FACT**

The subject property is currently zoned DT1 – General Downtown.

Each of the proposed uses of the planned development is an allowed use within the DT1 zone.

The subject property is not located within 60 feet of, or directly across the street from, an RC, R1, R2 or PRO-R zone and is therefore not subject to Provo City Code 14.21A.080. Transitional Development Standards.

### **STAFF ANALYSIS**

The proposed development complies with the provisions of the DT1 Zone and the Downtown Development Design Standards found in 14.34.295 with the following exceptions.

#### **14.21A.160. Landscaping and Recreational Amenities**

(2) In any new project consisting of five or more residential units, an area equivalent to ten per cent (10%) of the residential gross floor area shall be developed in recreational amenities, such as a common clubhouse, gym, pool, roof-top garden, or other amenity. Landscaping in front and street side yards, the 15 foot minimum facade set back, and other required areas (such as distance provisions required by the International Building Code) shall not be calculated towards meeting this provision. Only 50% of the required recreational amenity space may be located outdoors at the ground floor level. (Enacted 2010-31)

- Based on calculations performed by staff using the submitted scaled drawings, the project does not provide the required area of recreational amenities. The following table summarizes the findings of staff.

Residential Gross Floor Area	10% Amenity Requirement	Provided Interior Area		Provided Exterior Area		Total Amenity Area Provided	
118,697	11,870	Clubhouse	3,317	Courtyard 1	1,564		
		Roof		Courtyard 2	1,423		
		Terrace	2,480	Courtyard 3	2,415		
		Interior Total	5,797	Exterior Total	5,402	Total	11,199
		% Total	49%	% Total	46%	Deficit	671

14.34.295. Downtown Development Design Standards.

(1) A minimum of one pedestrian entrance to a commercial space, lobby, or residential unit shall be provided for every fifty (50) feet of building frontage along primary streets and one hundred (100) feet on secondary streets. Properties located in the Downtown Gateway (GW) zone must provide a minimum of one pedestrian entrance to a commercial space, lobby, or residential unit for every one hundred (100) feet of street frontage. All properties with frontage on Center Street in the GW zone must provide a pedestrian entrance that fronts Center Street.

- No pedestrian entrance is provided along the 100 North building frontage, two entrances should be provided. Access from the sidewalk to the patio door of the adjacent units could meet this requirement

(5) All windows and doors, with the exception of ground level shop fronts, shall be square or vertical in proportion.

- The double ganged windows present at each elevation are not square or vertical in proportion. To meet this requirement these windows can either be separated as at the fourth level and the southern portion of the East elevation, or be designed with a mullion which projects from the face of the surrounding window framing to visually separate the ganged units.

(7) Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12 on all elevations facing a public street. Pitched roofs for residential porches and attached sheds may be no less than 2:12. This provision should not be construed to prohibit flat roof designs.

- The pitched roof over the southernmost tower is sloped 4:12, less than 5:12.

(11) Mechanical equipment shall have an opaque screening barrier that is architecturally compatible with the primary structure. Only the minimal amount of screening necessary to fully screen such equipment shall be used. See 14.34.295 Architectural Standards Illustrated. (Enacted 2010-31)

- The applicant shall provide plans showing location of mechanical equipment and required screening.

Each of these items can be addressed through completion of the CRC review process and should not interfere with Planning Commission approval.

### **CONCLUSIONS**

Due to the projects compliance with the applicable city code, it must be approved by the Planning Commission conditional to compliance with above noted code requirements and departmental approval requirements.

### **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission approve the Project Plan Application for Liberty Center with the condition that the project complies with above noted code requirements and standard departmental approval requirements.

### **ATTACHMENTS**

1. Project Plans

# LIBERTY CENTER

## 310 WEST CENTER STREET

### PROVO, UTAH 84601



Character Elevation

PRINT RECORD		
DATE	REASON	REVISION
09/24/13	DD SET	
11/21/13	PROGRESS SET	
12/19/13	PROGRESS SET	
01/09/14	PERMIT SET	



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**JOB CAPTAIN: SHANNON GANN**  
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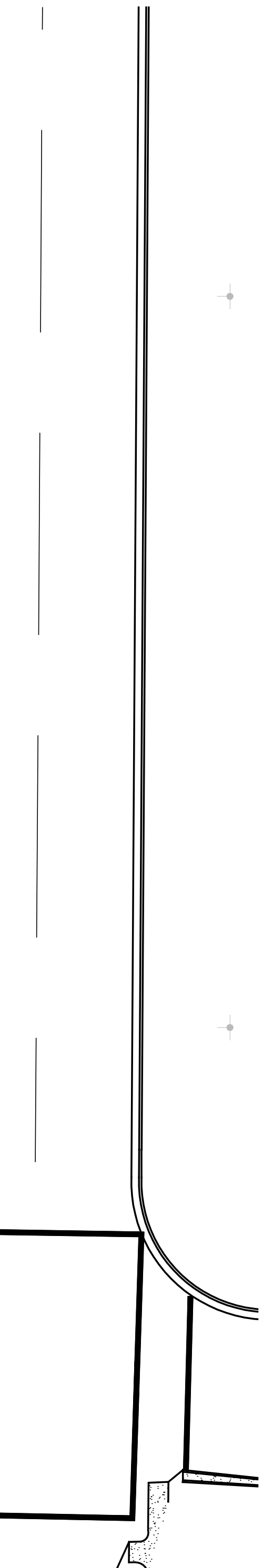
#### VICINITY MAP



#### REVISION RECORD

DATE	REASON	REVISION





100 NORTH STREET

300 WEST STREET

CENTER STREET

**SITE NOTES**

**SYMBOL LEGEND - SITE PLAN**

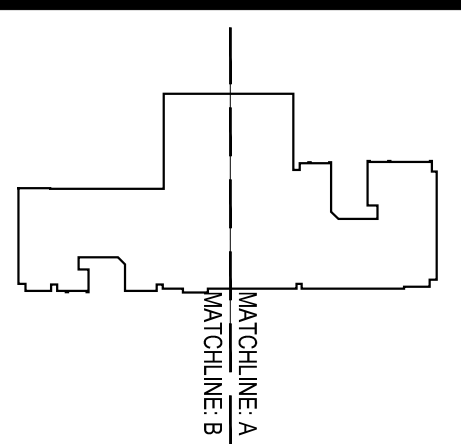
- PROPERTY LINE
- NUMBER OF PARKING SPACES  
5 WIDE SIDEWALK  
REF: C01
- ACCESSIBLE INT

**FIRE DEPARTMENT NOTES**

- 1. THIS SITE PLAN FOR REFERENCE ONLY - REFER TO CIVIL FOR SITE DIMENSIONAL CONTROL.
- 2. REFER TO SHEET A100 FOR CONCERNED PARTIES COMMENTS.
- 3. REFER TO SHEET A101 FOR CONCERNED PARTIES COMMENTS.
- 4. DEVELOPMENT AND USE OF THIS SITE MUST COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- 5. ALL SERVICES AND UTILITIES SHALL BE SCREENED TO CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND ORDINANCES.
- 6. ALL SERVICES AND UTILITIES SHALL BE SCREENED TO CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND ORDINANCES.
- 7. REFER TO SHEET A102 FOR CONCERNED PARTIES COMMENTS.
- 8. REFER TO SHEET A103 FOR CONCERNED PARTIES COMMENTS.
- 9. REFER TO SHEET A104 FOR CONCERNED PARTIES COMMENTS.
- 10. REFER TO SHEET A105 FOR CONCERNED PARTIES COMMENTS.
- 11. REFER TO SHEET A106 FOR CONCERNED PARTIES COMMENTS.
- 12. REFER TO SHEET A107 FOR CONCERNED PARTIES COMMENTS.
- 13. REFER TO SHEET A108 FOR CONCERNED PARTIES COMMENTS.
- 14. REFER TO SHEET A109 FOR CONCERNED PARTIES COMMENTS.
- 15. REFER TO SHEET A110 FOR CONCERNED PARTIES COMMENTS.
- 16. REFER TO SHEET A111 FOR CONCERNED PARTIES COMMENTS.
- 17. REFER TO SHEET A112 FOR CONCERNED PARTIES COMMENTS.
- 18. REFER TO SHEET A113 FOR CONCERNED PARTIES COMMENTS.
- 19. REFER TO SHEET A114 FOR CONCERNED PARTIES COMMENTS.
- 20. REFER TO SHEET A115 FOR CONCERNED PARTIES COMMENTS.
- 21. REFER TO SHEET A116 FOR CONCERNED PARTIES COMMENTS.
- 22. REFER TO SHEET A117 FOR CONCERNED PARTIES COMMENTS.
- 23. REFER TO SHEET A118 FOR CONCERNED PARTIES COMMENTS.
- 24. REFER TO SHEET A119 FOR CONCERNED PARTIES COMMENTS.
- 25. REFER TO SHEET A120 FOR CONCERNED PARTIES COMMENTS.

DESIGNED BY:	XY
DRAWN BY:	SG
CHECKED BY:	MC
DATE:	01/09/14
ISSUE NO. / REVISION:	01/09/14
PROJECT NAME:	LIBERTY CENTER
CLIENT:	COWBOY PARTNERS

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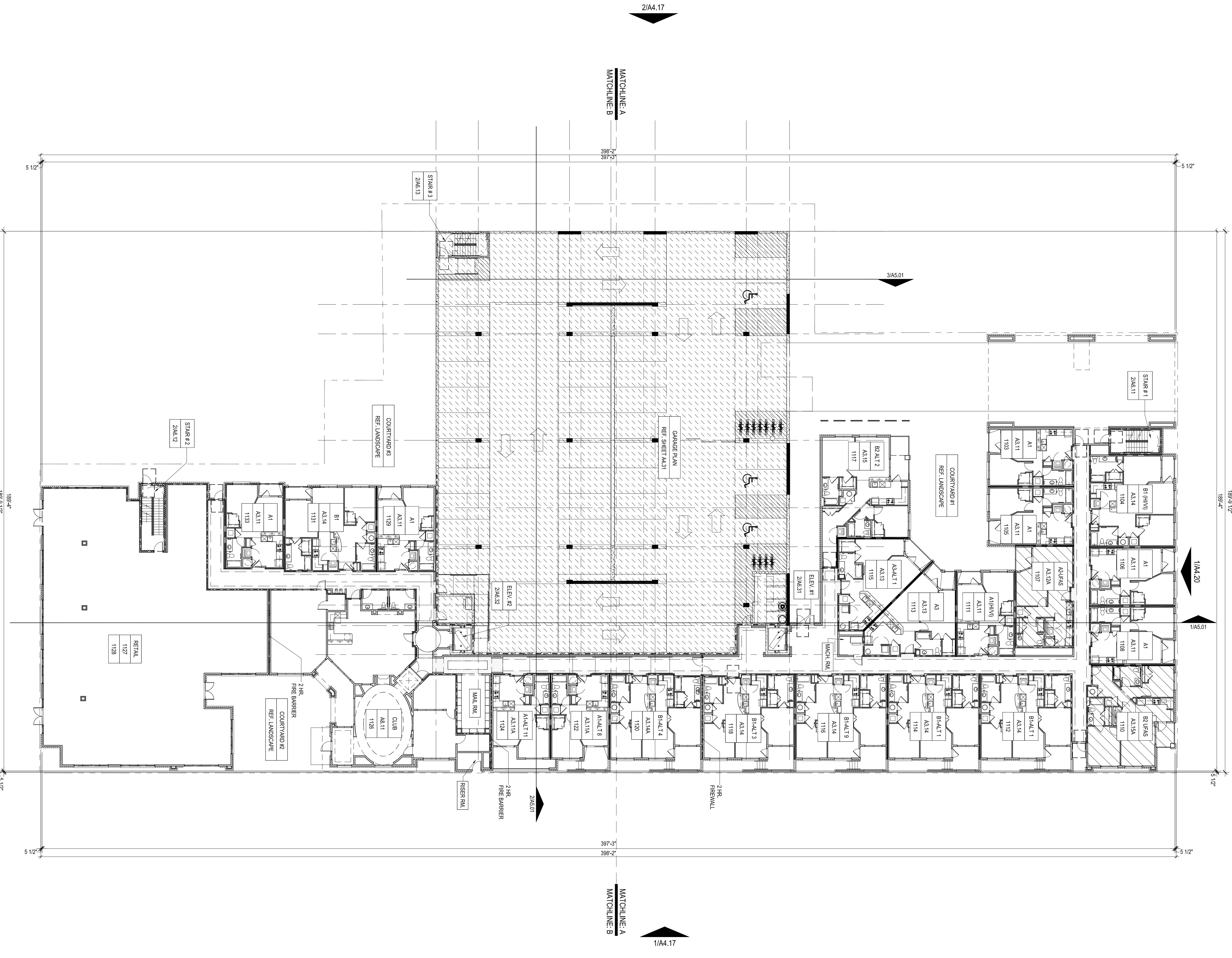


**LIBERTY CENTER**  
PROVO, UT  
**COWBOY PARTNERS**

### SYMBOL LEGEND - BLDG PLANS

WALL SECTION TAG	EXTERIOR ELEVATION TAG	FEC	FIRE EXTINGUISHER
DETAIL TAG	WALL SECTION TAG	CABINET (S/M RECESSED EXCEPT WITH COULDS)	WALL SECTION TAG
FLOORROOM, REF. ROOM W/THICKNESS (12" UNL.)	5" OR WIDE BRICK/STONE	POURED IN PLACE CONCRETE	8" DIA. WALL
2HR. FIRE WALL	2HR. FIRE WALL	2HR. FIRE WALL	2HR. FIRE WALL
1HR. FIRE WALL	1HR. FIRE WALL	1HR. FIRE WALL	1HR. FIRE WALL
2HR. FIRE WALL	2HR. FIRE WALL	2HR. FIRE WALL	2HR. FIRE WALL
2HR. FIRE WALL	2HR. FIRE WALL	2HR. FIRE WALL	2HR. FIRE WALL
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2HR. FIRE WALL	2HR. FIRE WALL	2HR. FIRE WALL	2HR. FIRE WALL

**NOTES:**  
1. REFER TO THE T&E SECTION 4.5 AND 4.6 FOR R.O.S.  
2. REFER TO STRUCTURAL AND PLUMBING DRAWINGS FOR ALL FLOOR DRAIN LOCATIONS AND SLOPES.  
3. CIVIL LANDSCAPE TO VERIFY GRASSES AT ALL RETAINING WALLS AND DOORS.  
4. REFER TO MECHANICAL DRAWINGS FOR ALL MECHANICAL EQUIPMENT LOCATIONS AND SLOPES.  
5. FIRE EXTINGUISHER TAGS ARE REQUIRED TO BE POSTED IN PUBLIC AREAS WITHIN THE STRUCTURE. THEY SHALL INCLUDE FLOOR LAYOUT TO INCLUDE OBSTRUCTIONS, EMERGENCY EGRESS OR ESCAPE ROUTES BOTH PREFERRED AND ALTERNATE. REFER TO THE T&E SECTION 4.5 FOR THE EXACT LOCATION OF ROOMS.  
6. REFER TO MECHANICAL DRAWINGS FOR THE EXACT LOCATION OF ROOMS.  
7. UNIT INTERIOR WALL TYPES ARE: 38" TYPICAL 12" SCANT PLUMBING WALLS 34" ROUND UTILITY ROOMS.

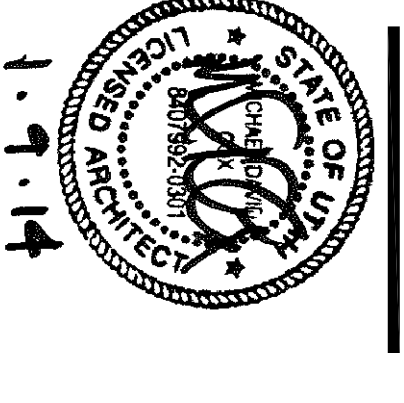


**1** REFERENCE BUILDING PLAN-LEVEL 1  
SCALE: 1/16" = 1'-0"  
12359

Drawn by: YJ	Checked by: SG
Author of Record: MC	Date of Issue: 01/09/14
Project Name: Liberty Center	Project Number: 12359
Revision: 01/09/14	Revision Description: 01/09/14



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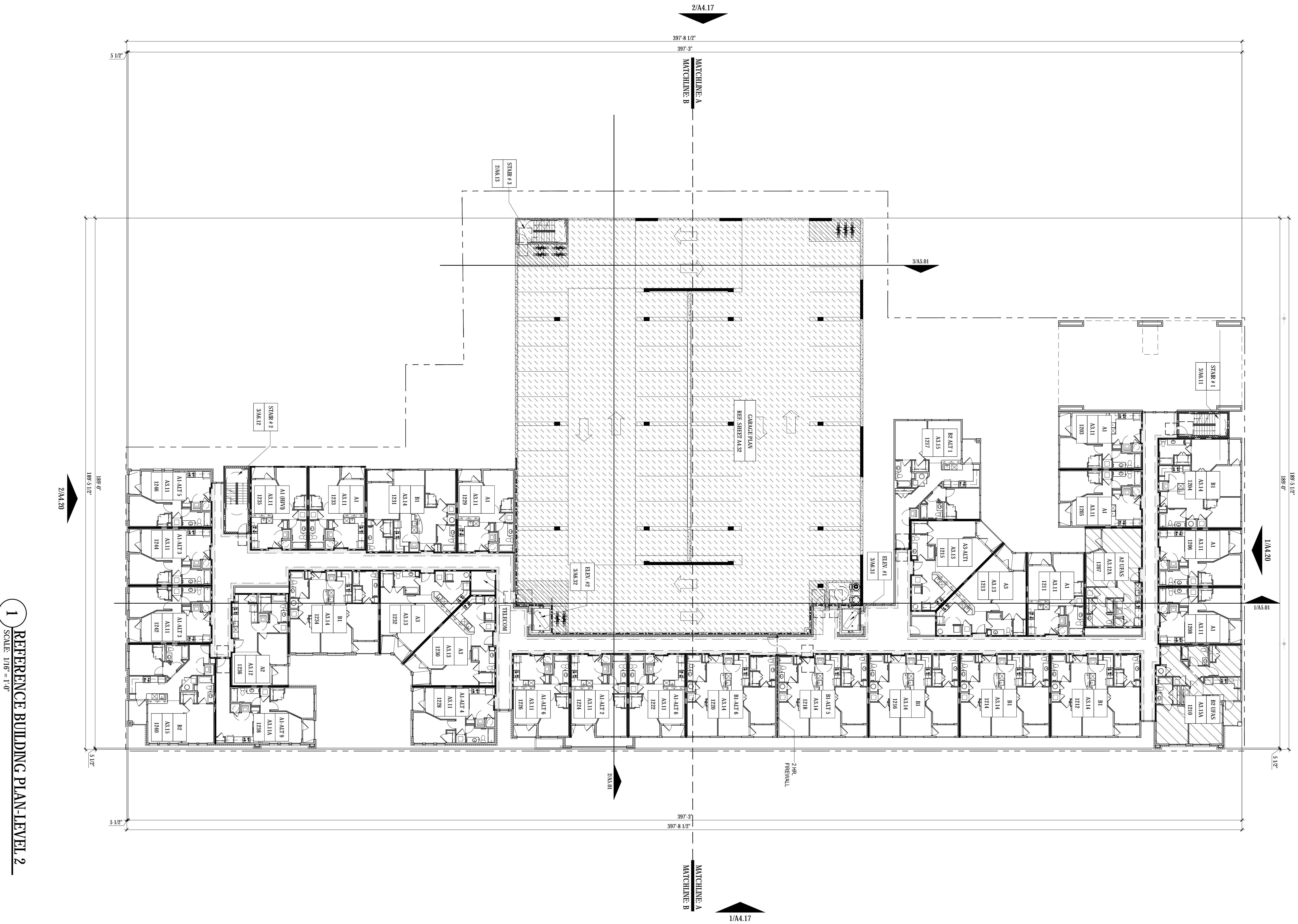


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SHEET NO. **A4.11**  
SHEET CONTENTS:  
REFERENCE BUILDING  
PLAN-LEVEL 1





1 REFERENCE BUILDING PLAN LEVEL 2  
SCALE 1/8" = 1'-0"

### SYMBOL LEGEND - BLDG PLANS

SYMBOL	DESCRIPTION	REF.
➤	EXTERIOR ELEVATION TAG	FIG.
➤	WALL SECTION TAG	
⬇	CARPET	FIRE EXTINGUISHER & SMOKE DETECTOR
-	ALL OTHER AREAS	EXCEPT WITHIN GARAGE
-	MIN. 5/8" CONC.	MAX. 2" AFF. TO TOP OF TRAVEL INSTALLED FOR BAYETS
▬	5.12" WIRE REBAR FLEXURE	WITHIN GARAGE, REF. DET.
▬	POURED IN PLACE CONCRETE	PARTITION WALL TAG
▬	8" CMU WALL	2"R. PERI. WALL
▬	LOCATION OF EFS TURNS	2"R. FIRE DAMPER
▬		1"R. SENSATION ON CORRIDOR WALL
▬		2"R. PERI. WALL
▬		DOOR TAG
▬		REF. A.1.1.8
▬		WINDOW TAG, REF. A.1.1.9

**NOTES:**

1. ALL GARAGE AND FLOOR SURFACES TO MEET THE FTS SECTION 4.2 AND I.H.R. HOUSING.
2. GARAGE FLOOR SURFACES TO MEET THE FTS SECTION 4.2 AND I.H.R. HOUSING.
3. GARAGE FLOOR SURFACES TO MEET THE FTS SECTION 4.2 AND I.H.R. HOUSING.
4. REFER TO A.1.1.0 FOR COMMON AREA ACCESSIBILITY REQUIREMENTS.
5. THE FINISH FLOORING IS REQUIRED TO BE INSTALLED IN PARKING AREAS WITHIN THE STRUCTURE. THE SHALL BE INSTALLED AT THE FINISH FLOOR ELEVATION.
6. METERS, REFER. AND TIEBACKS ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO THE STRUCTURE AND ALTERNATIVE. AND THE LOCATION OF THE SIGN IN REFERENCE TO THE STRUCTURE.
7. UNIT RETIRED WALL TIES ARE: 38 (TYPICAL) AT PLUMBING WALLS IN AROUND UTILITY ROOMS.

#	DATE	COMMENTS

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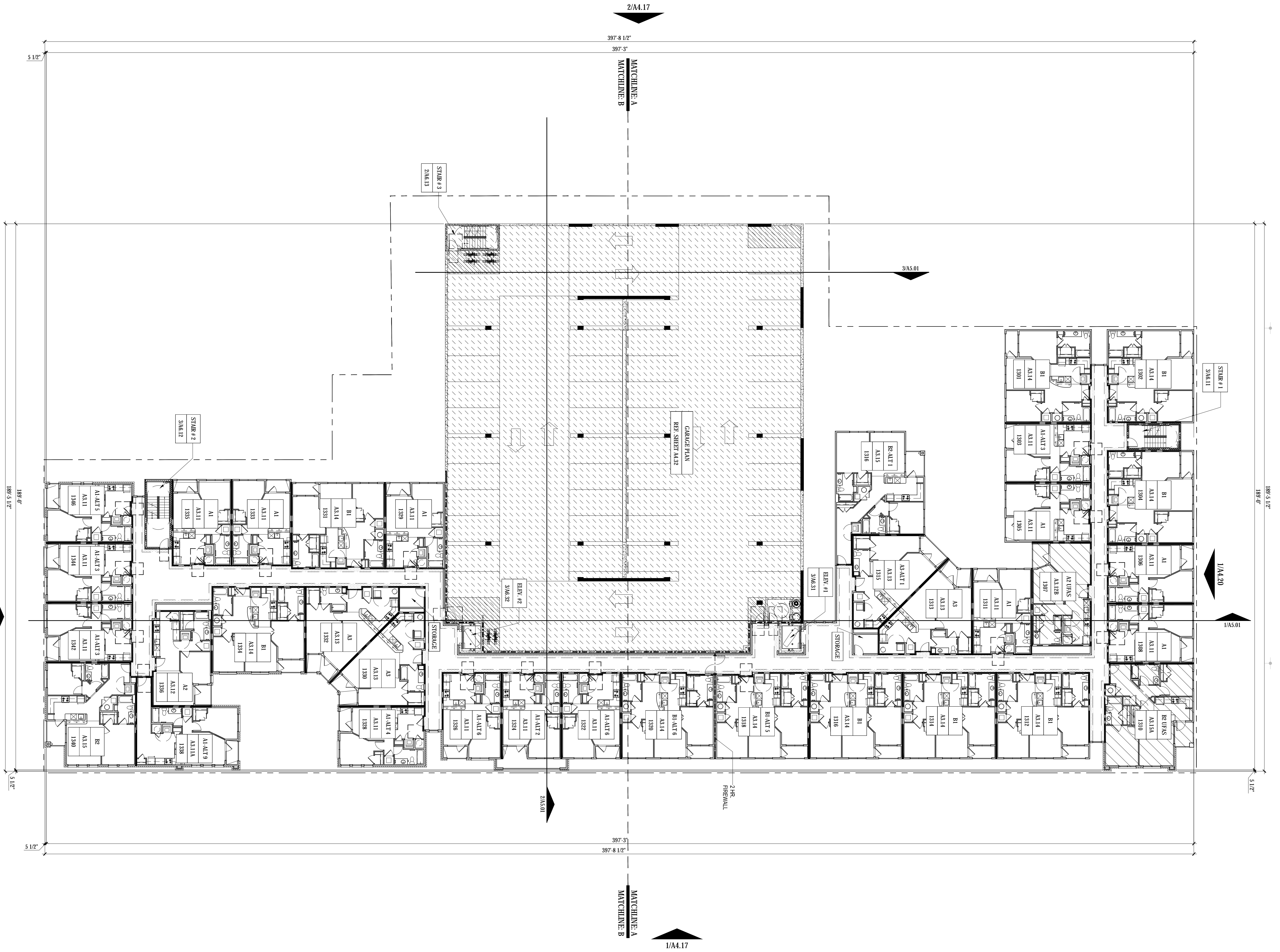
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**1**  
REFERENCE BUILDING PLAN-LEVEL 3  
SCALE: 1/8" = 1'-0"

SYMBOL LEGEND - BLDG PLANS	
<p><b>EXTERIOR ELEVATION TAG</b></p> <p>WALL SECTION TAG</p> <p>DETAIL TAG</p> <p>FIRE DOWN, REF. AREA FOR DEPTH REF. AREA, WIDTH - 2' C.S.K.</p> <p>5-1/2" WIRE BRK W/LENZE</p> <p>8" CURB WALL</p> <p>LOCATION OF UHS LIMS</p> <p>ROOM TAG</p> <p>2HR. FIRE WALL</p> <p>2HR. FIRE WALL</p> <p>2HR. FIRE WALL</p> <p>2HR. FIRE WALL</p> <p>2HR. FIRE WALL</p> <p>2HR. FIRE WALL</p> <p>2HR. FIRE WALL</p>	<p><b>FIG.</b></p> <p>PER STRUCTURE 4 EXCEPT WITH REISSUED DRAWING INSTANCES OF WALLS</p> <p>PER STRUCTURE 4 EXCEPT WITH REISSUED DRAWING INSTANCES OF WALLS</p> <p>PER STRUCTURE 4 EXCEPT WITH REISSUED DRAWING INSTANCES OF WALLS</p> <p>PER STRUCTURE 4 EXCEPT WITH REISSUED DRAWING INSTANCES OF WALLS</p> <p>PER STRUCTURE 4 EXCEPT WITH REISSUED DRAWING INSTANCES OF WALLS</p> <p>PER STRUCTURE 4 EXCEPT WITH REISSUED DRAWING INSTANCES OF WALLS</p> <p>PER STRUCTURE 4 EXCEPT WITH REISSUED DRAWING INSTANCES OF WALLS</p> <p>PER STRUCTURE 4 EXCEPT WITH REISSUED DRAWING INSTANCES OF WALLS</p> <p>PER STRUCTURE 4 EXCEPT WITH REISSUED DRAWING INSTANCES OF WALLS</p>

**NOTES:**

1. ALL GROUND AND FLOOR SURVEYS TO VERIFY THIS SECTION 4 AND FLOOR FINISHING.
2. VERIFY ALL ELEVATIONS AND DIMENSIONS WITH THE ARCHITECT.
3. CHECK DIMENSIONS TO VERIFY GARDENS AT ALL RETAINING WALLS AND DOORS.
4. REFER TO AIA FOR COMMON AREA ACCESSIBILITY REQUIREMENTS.
5. VERIFY ALL DIMENSIONS WITH THE ARCHITECT.
6. REFER TO AIA FOR COMMON AREA ACCESSIBILITY REQUIREMENTS.
7. VERIFY ALL DIMENSIONS WITH THE ARCHITECT.
8. REFER TO AIA FOR COMMON AREA ACCESSIBILITY REQUIREMENTS.
9. VERIFY ALL DIMENSIONS WITH THE ARCHITECT.
10. VERIFY ALL DIMENSIONS WITH THE ARCHITECT.



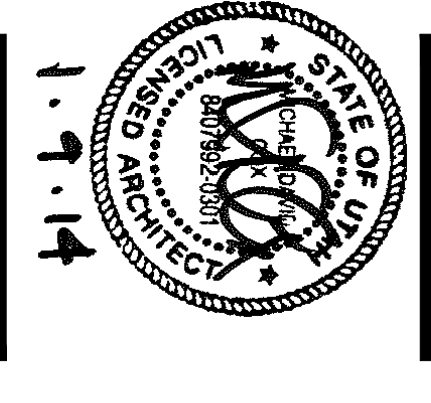
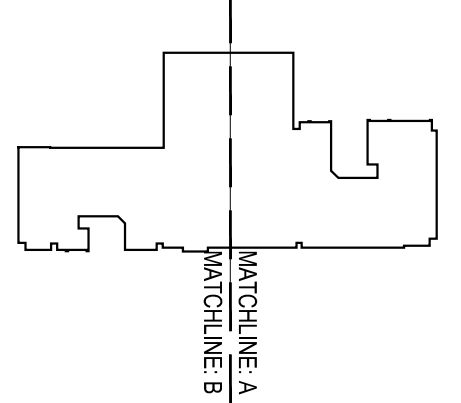
#	DATE	COMMENTS

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**LIBERTY CENTER**  
PROVO, UT  
**COWBOY PARTNERS**



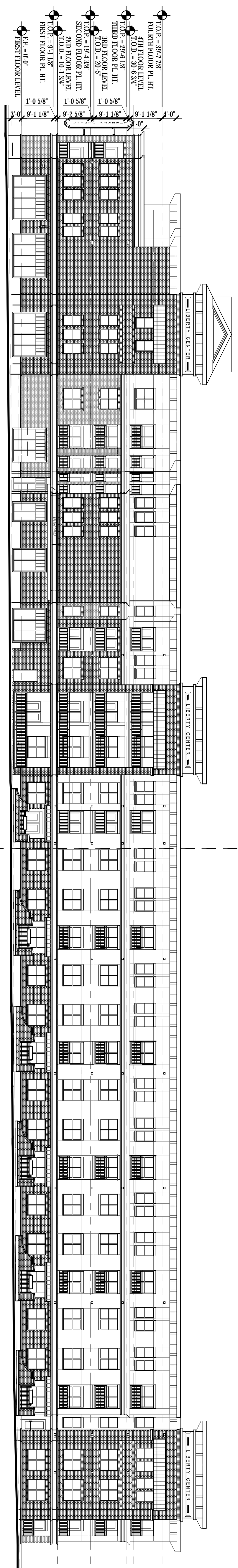
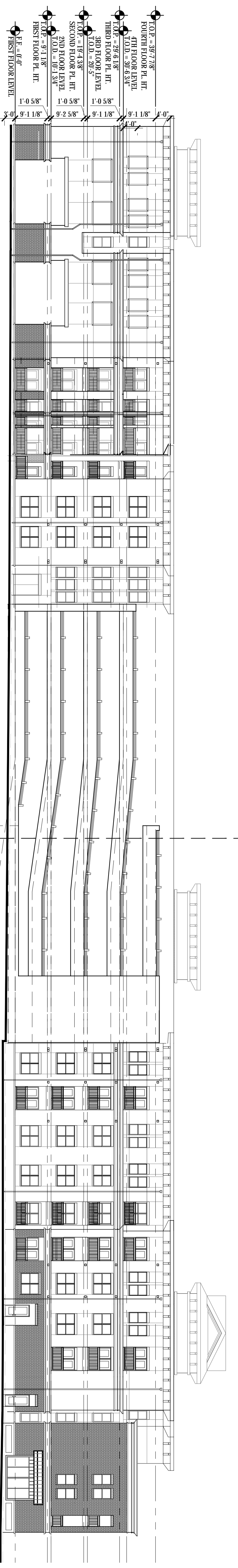
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SHEET CONTENTS:  
REFERENCE BUILDING ELEVATIONS  
SHEET NO.

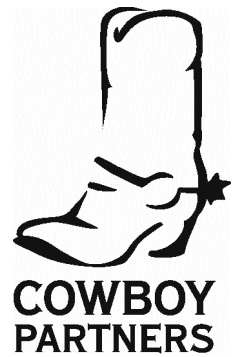
**A4.17**

12359

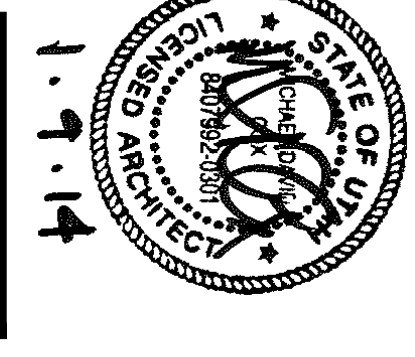
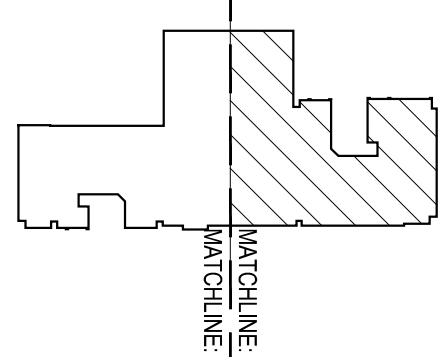


NO.	DATE	COMMENTS

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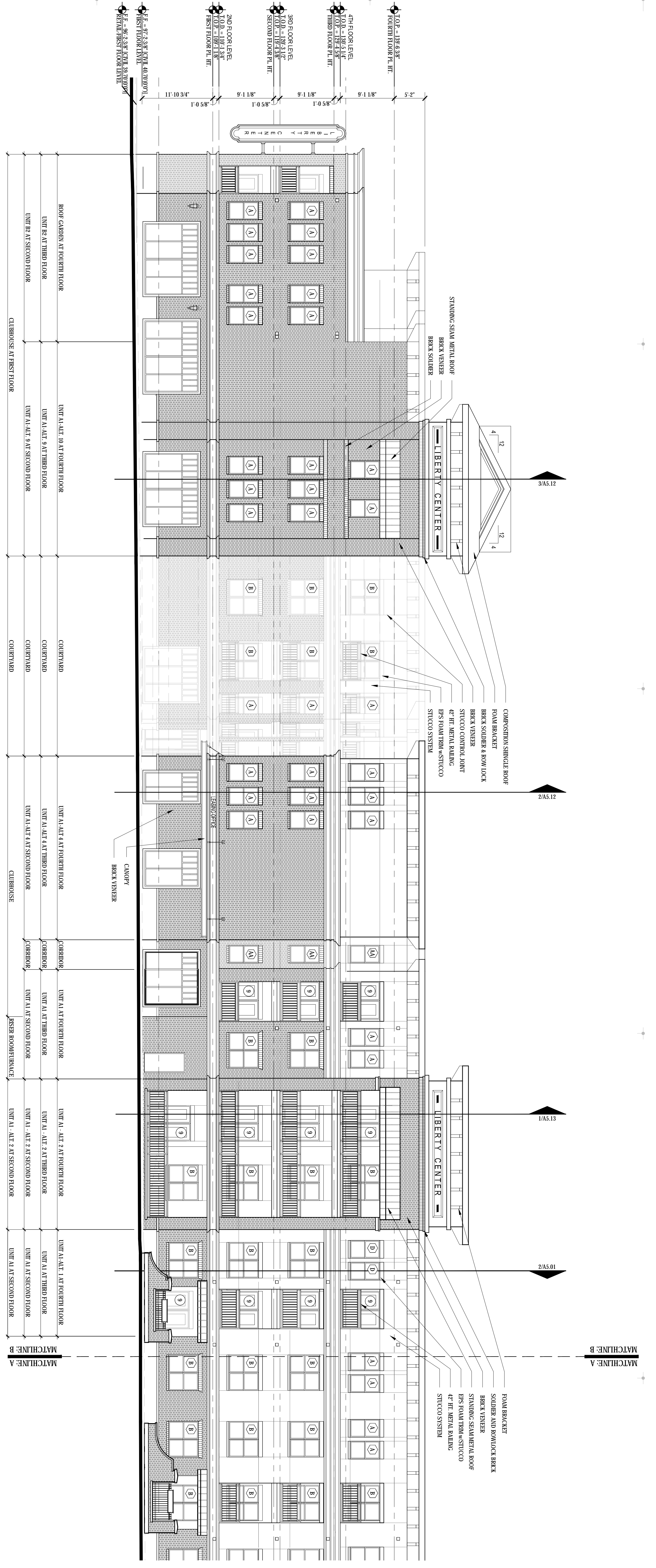
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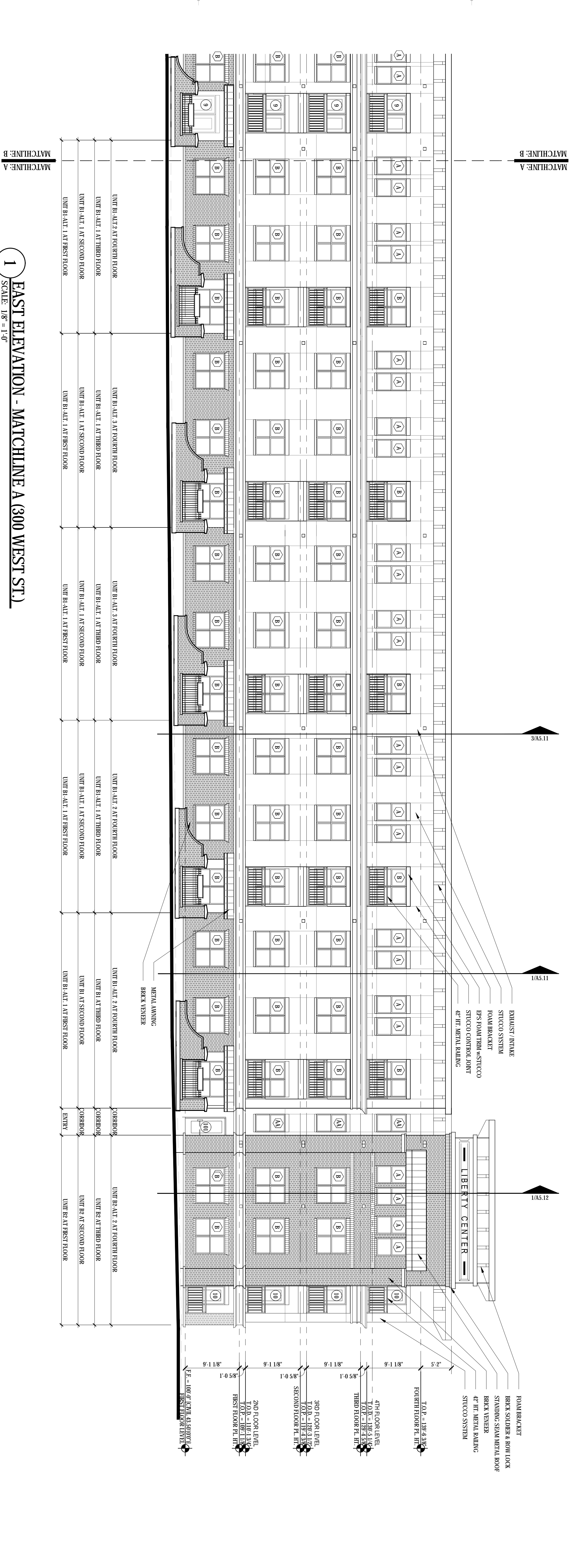
SHEET CONTENTS:  
 BUILDING ELEVATION  
 SHEET NO.

**A4.18**

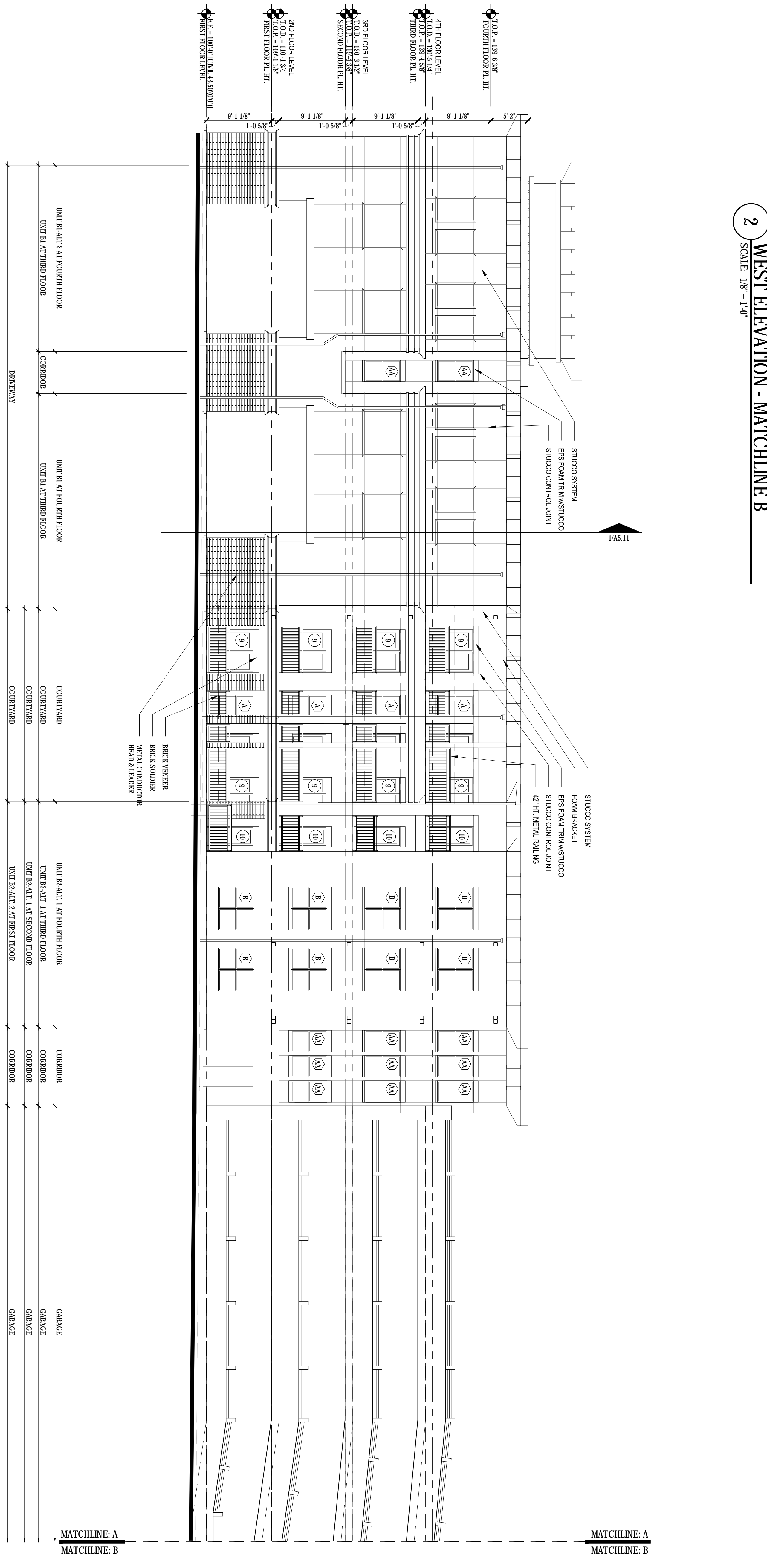
12359



**2 EAST ELEVATION - MATCHLINE B (300 WEST ST.)**  
SCALE: 1/8" = 1'-0"



**1 EAST ELEVATION - MATCHLINE A (300 WEST ST.)**  
SCALE: 1/8" = 1'-0"

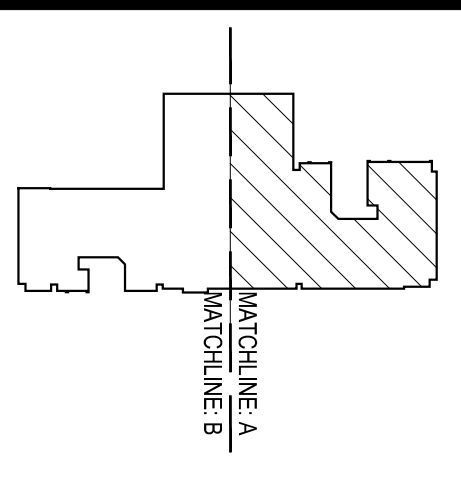
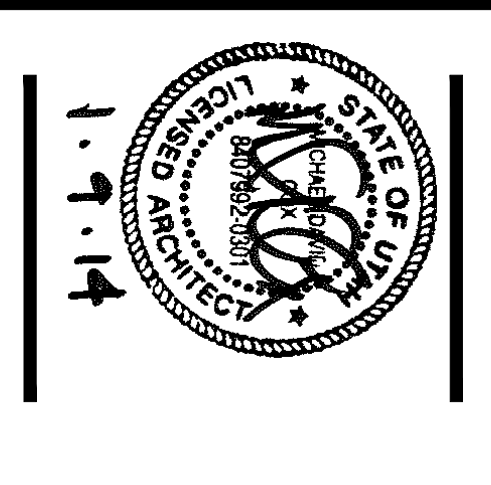


1 WEST ELEVATION - MATCHLINE A  
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION - MATCHLINE B  
SCALE: 1/8" = 1'-0"

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Designed by: YX	
Drawn by: SG	
Checked by: MC	
Date: 01/09/14	Issue or Revis: 01/09/14
Issue or Revis: 01/09/14	
Issue or Revis: 01/09/14	
#	DATE
	COMMENTS

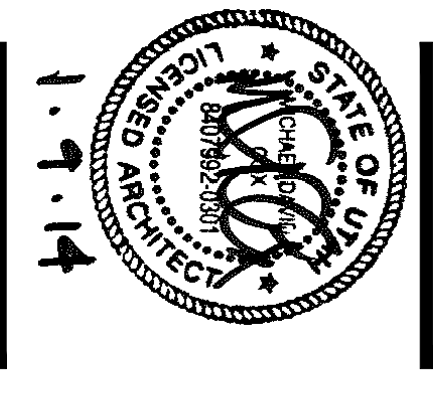
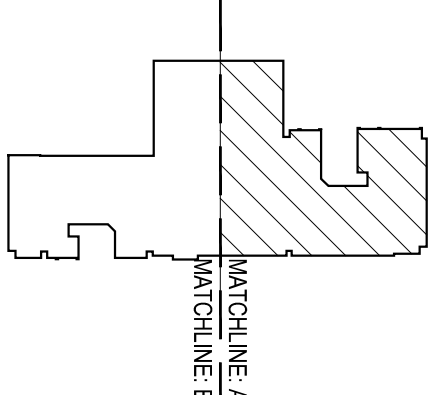
SHEET NO. **A4.19**  
 SHEET CONTENTS:  
 BUILDING ELEVATION

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Drawn by:	SG
Checked by:	MC
Date Plotted:	01/09/14
Issue or Revis: / Drawing:	01/09/14
Issue or Revis: / Update:	01/09/14
Name of Construction	
Address:	
City:	
State:	
Zip:	
Scale:	
Sheet No:	

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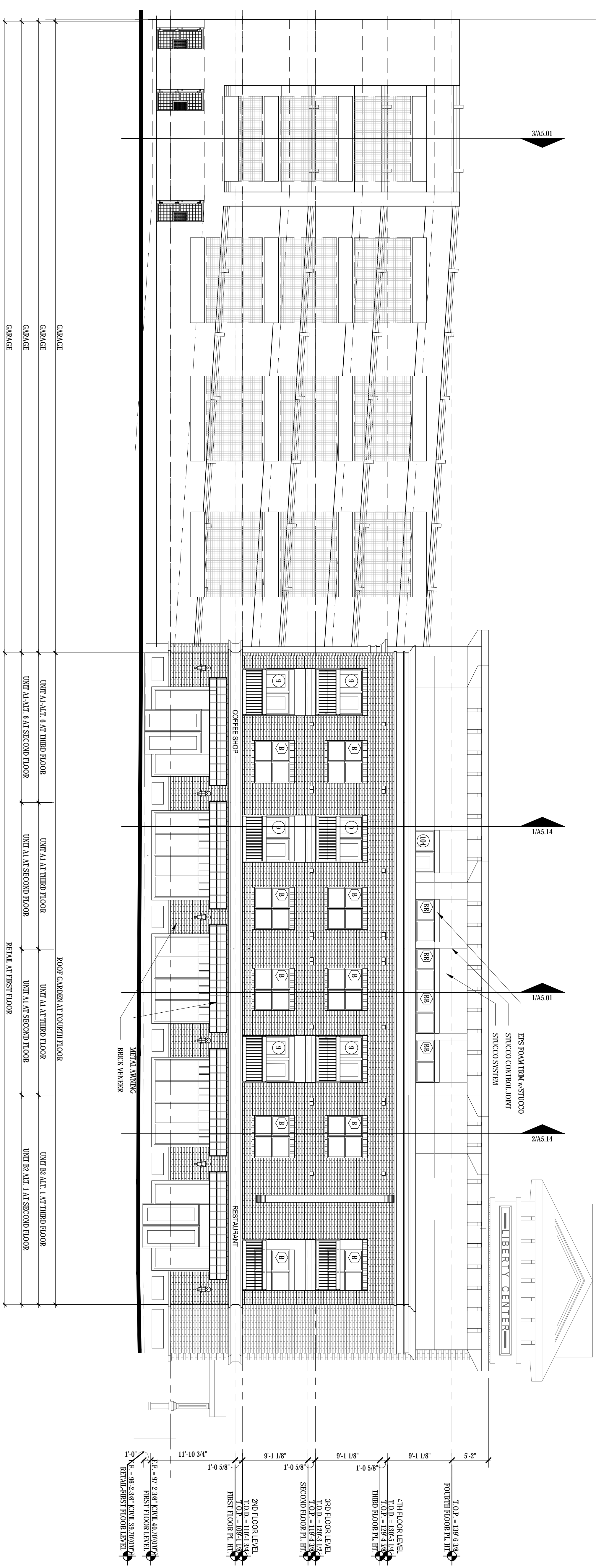
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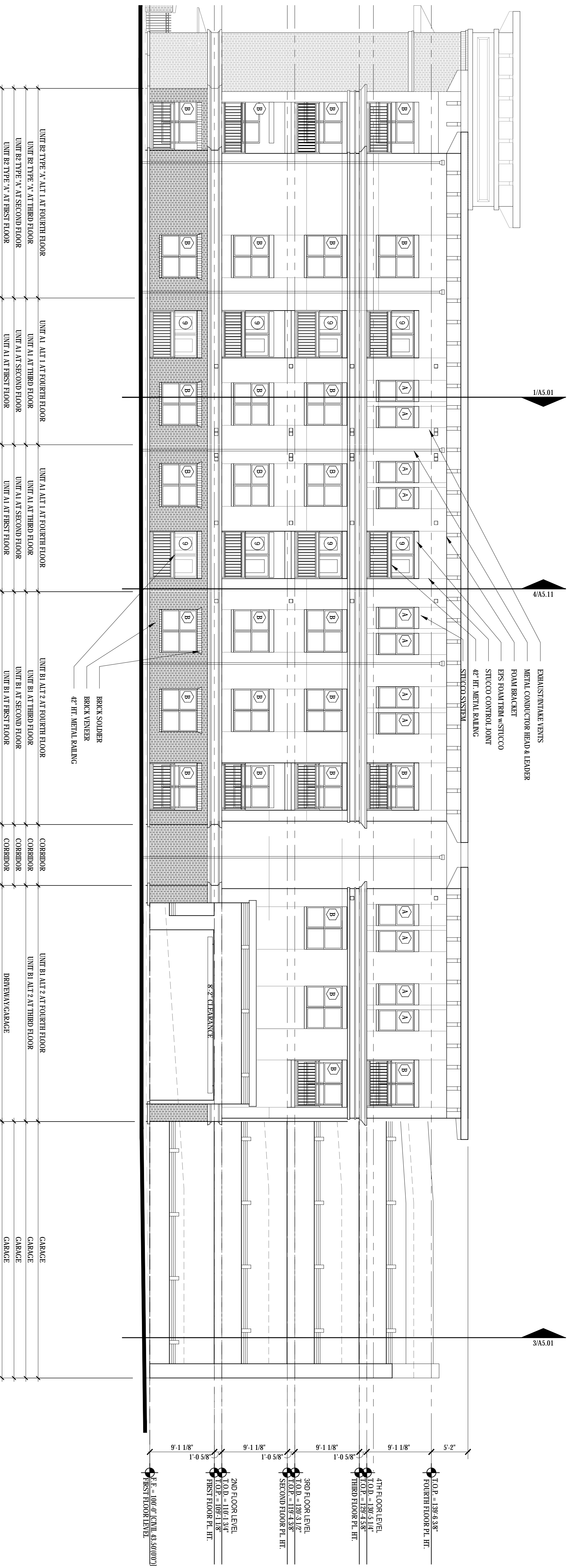
SHEET CONTENTS:  
BUILDING  
ELEVATION  
SHEET NO.

A4.20

12359



2 SOUTH ELEVATION-CENTER STREET  
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION-100 NORTH STREET  
SCALE: 1/8" = 1'-0"

#	DATE	COMMENTS

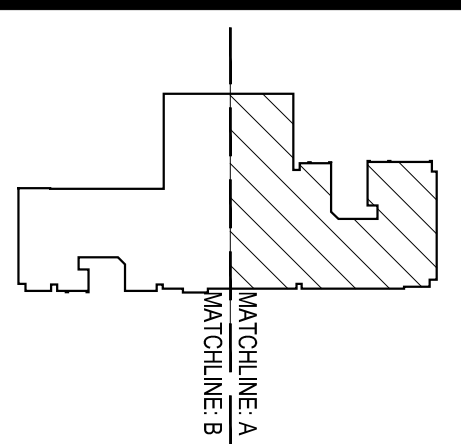
Issue for Construction

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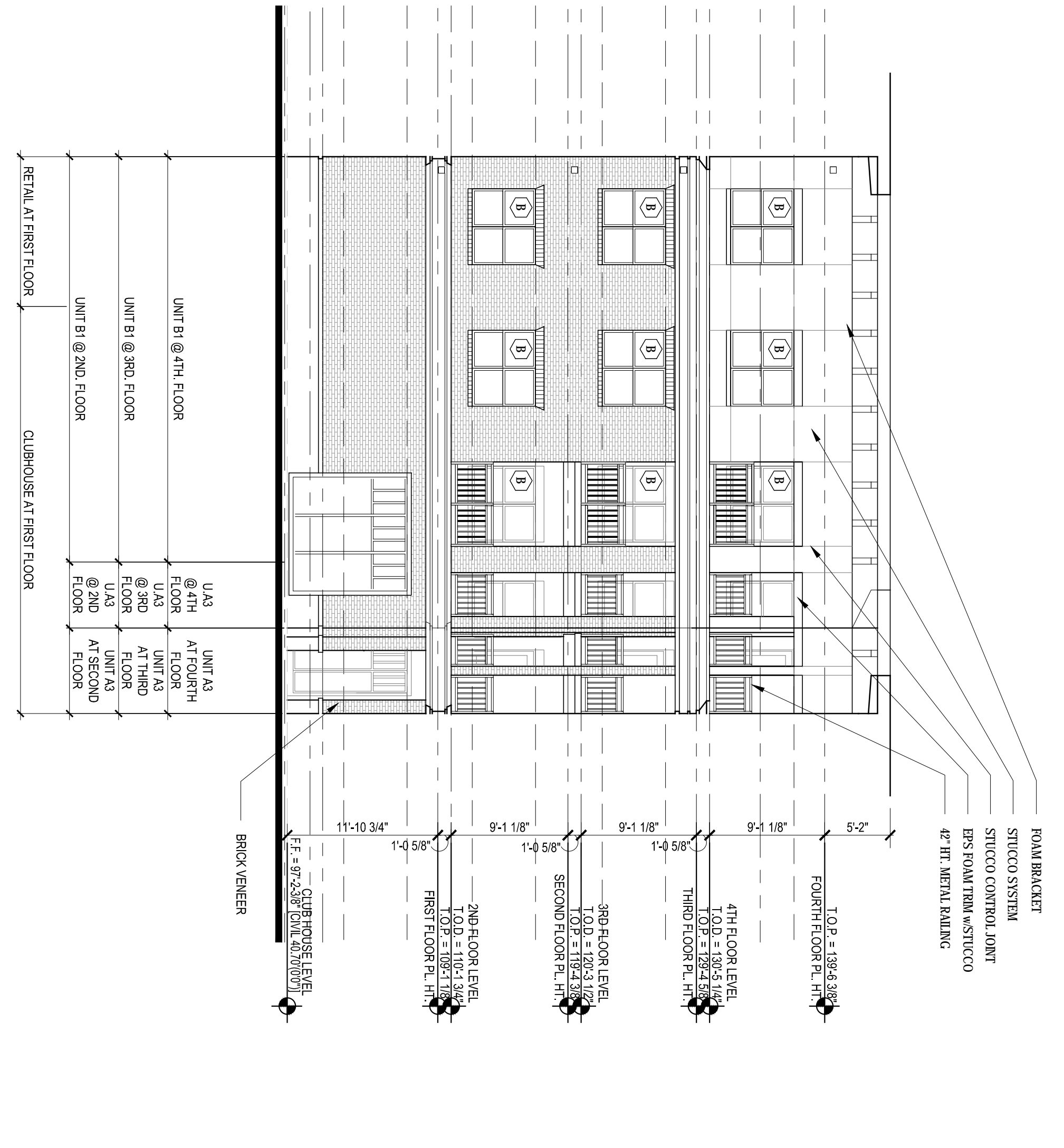
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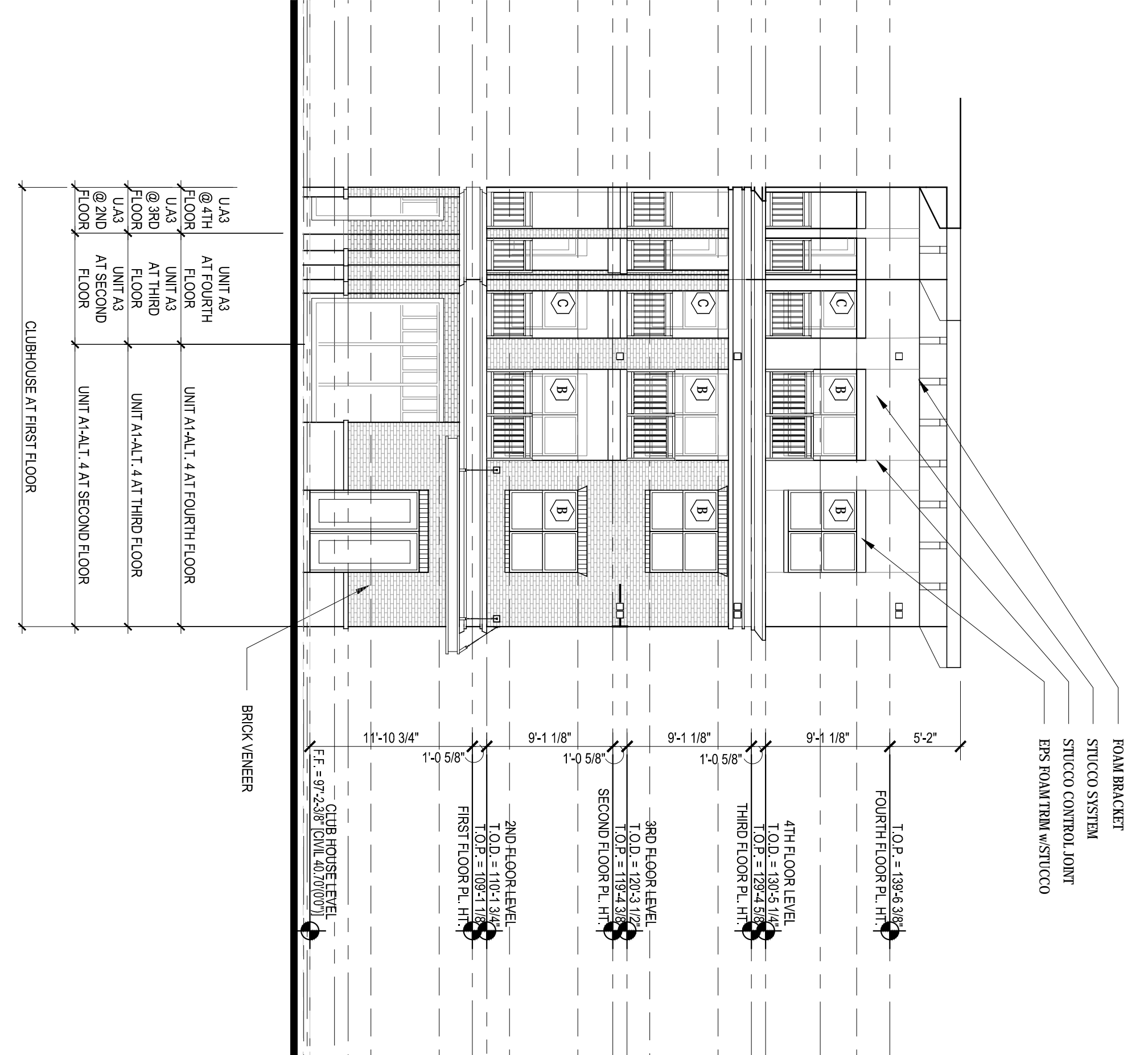
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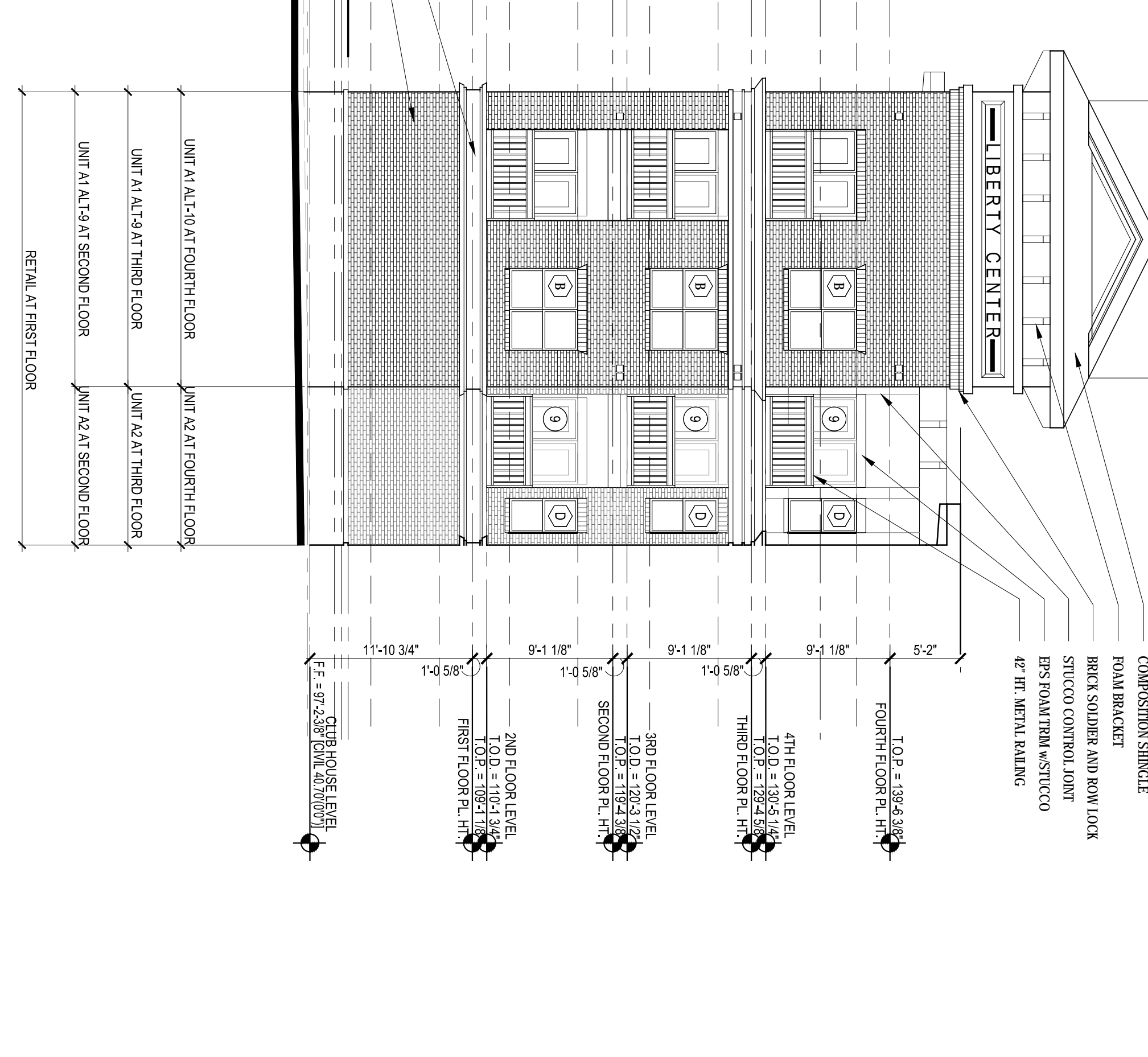
SHEET NO.  
**A4.21**



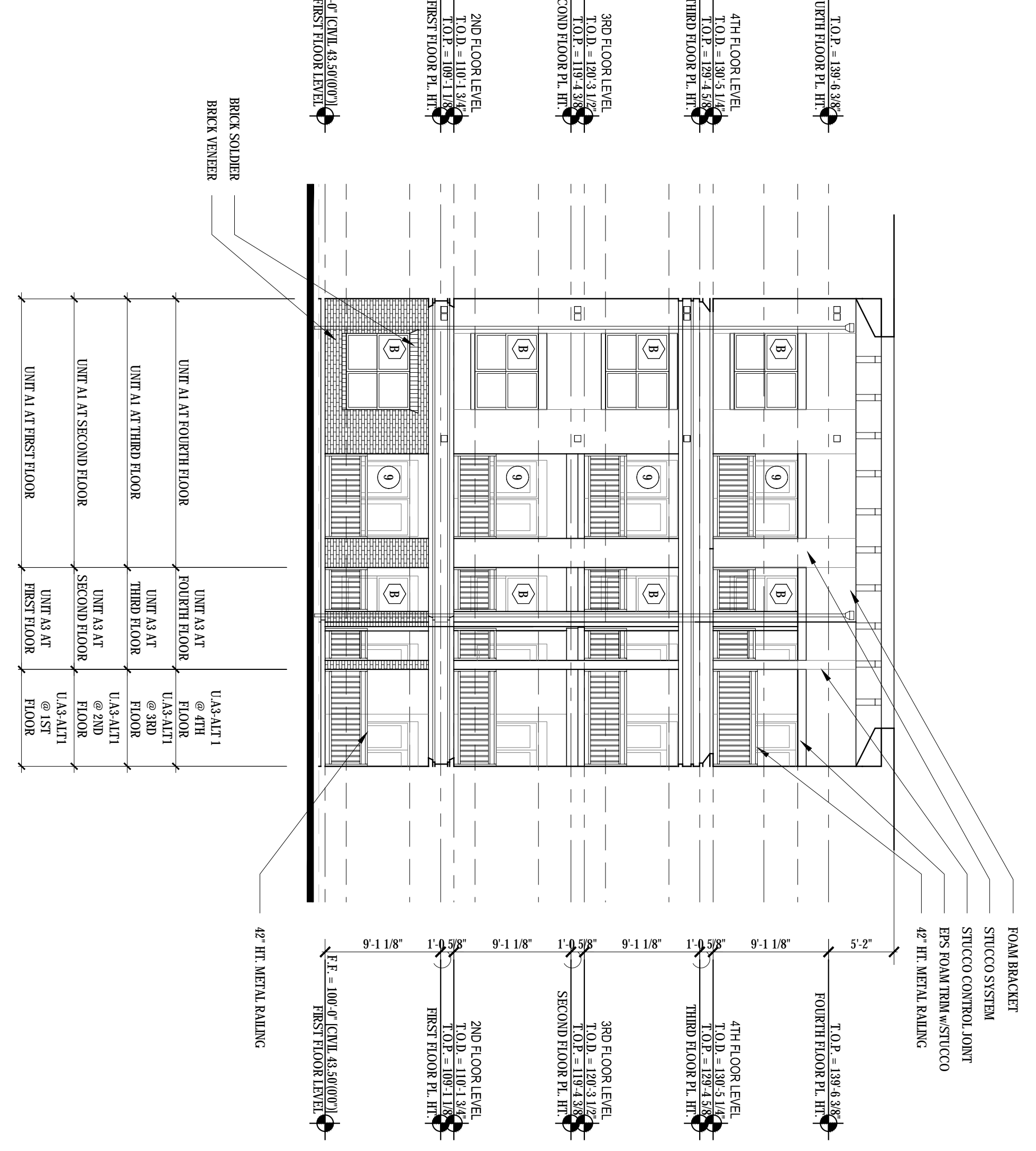
**4 COURTYARD 2 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



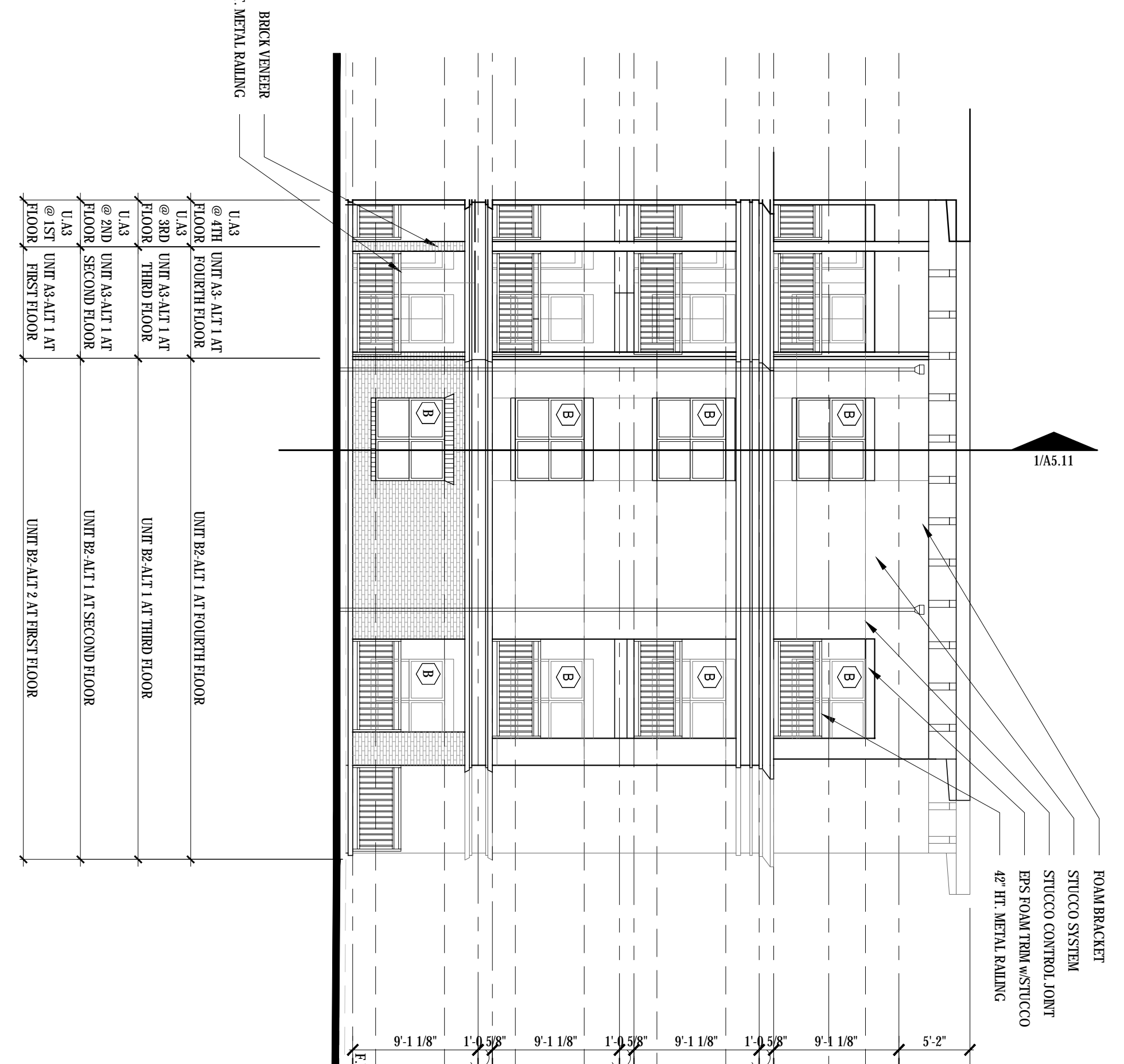
**5 COURTYARD 2 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**5 COURTYARD 2 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**1 COURTYARD 1 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 COURTYARD 1 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**3 COURTYARD 1 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



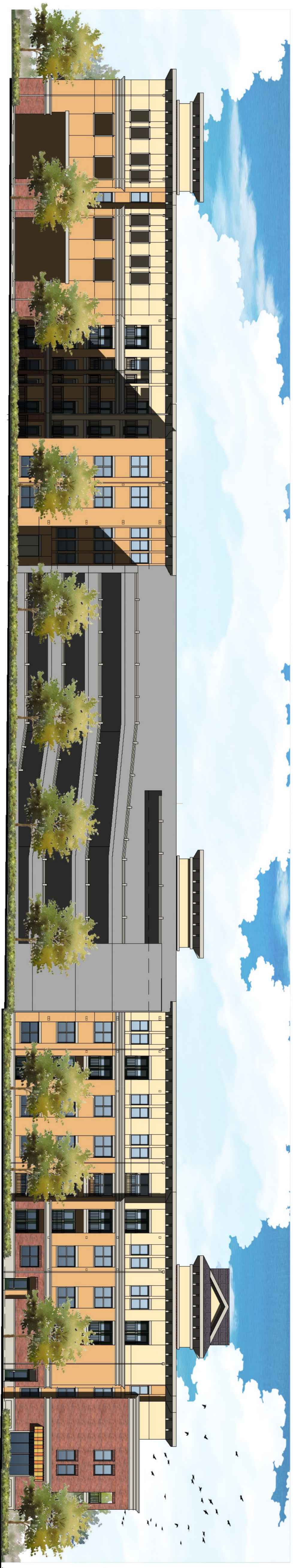
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4 PARTIAL BUILDING PLAN-LEFT ELEVATION  
SCALE: 1/16" = 1'-0"



3 PARTIAL BUILDING PLAN-RIGHT ELEVATION  
SCALE: 1/16" = 1'-0"

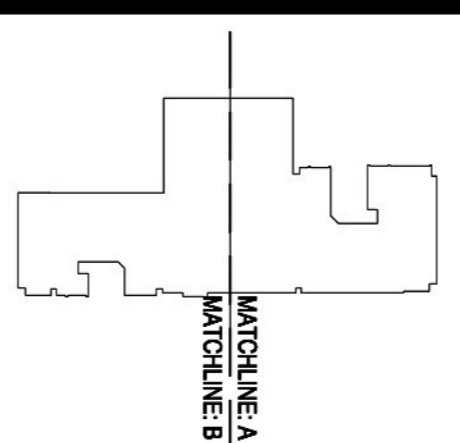


2 PARTIAL BUILDING PLAN-REAR ELEVATION  
SCALE: 1/16" = 1'-0"



1 PARTIAL BUILDING PLAN-FRONT ELEVATION  
SCALE: 1/16" = 1'-0"

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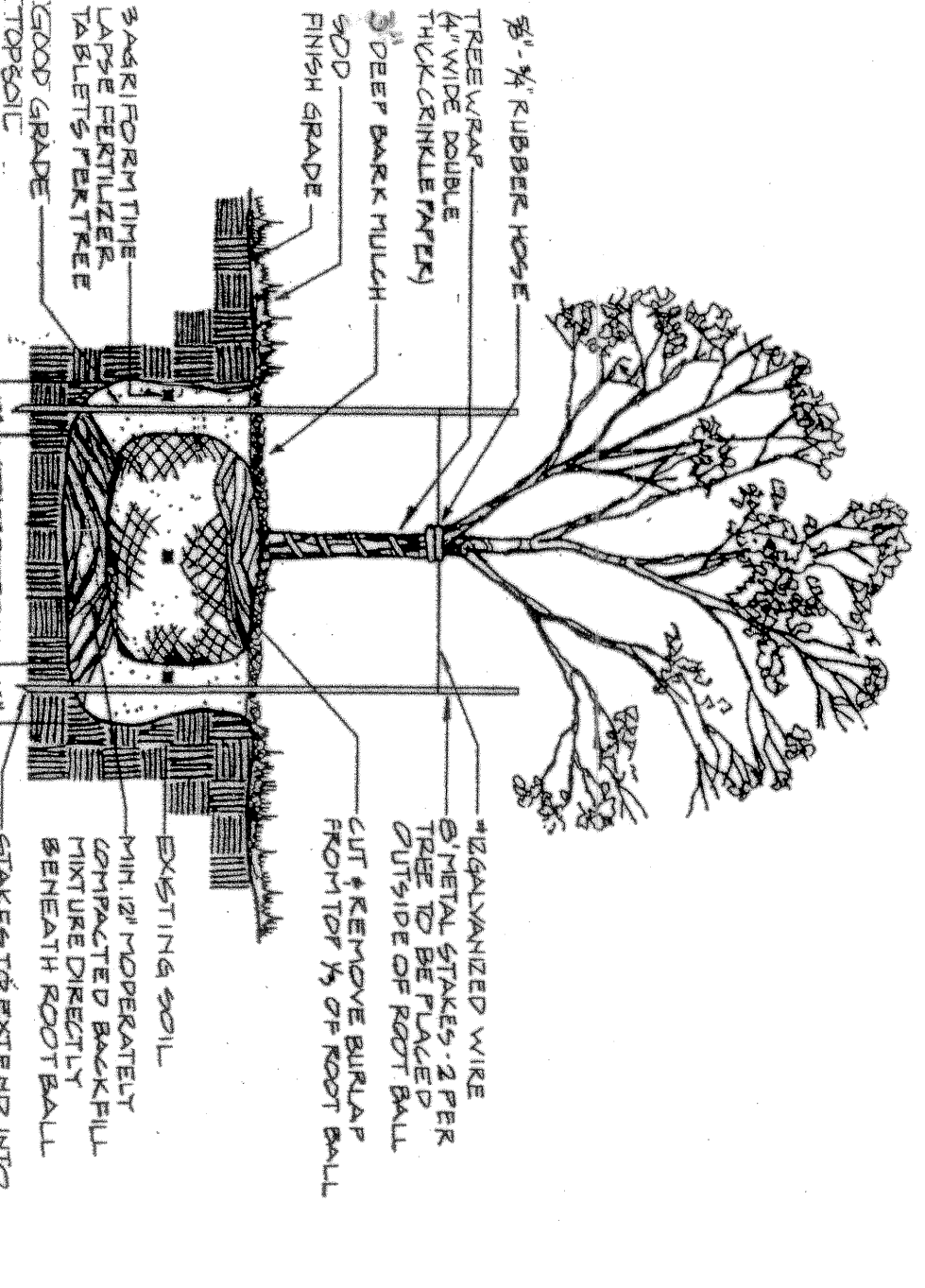
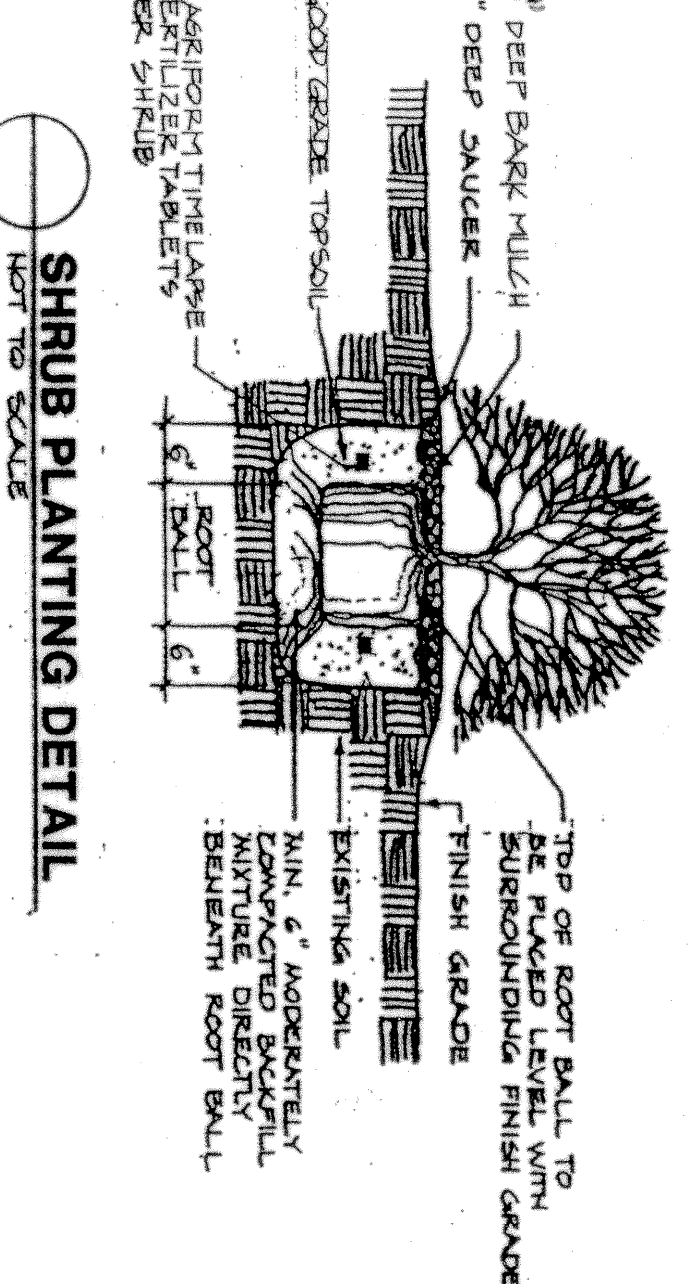
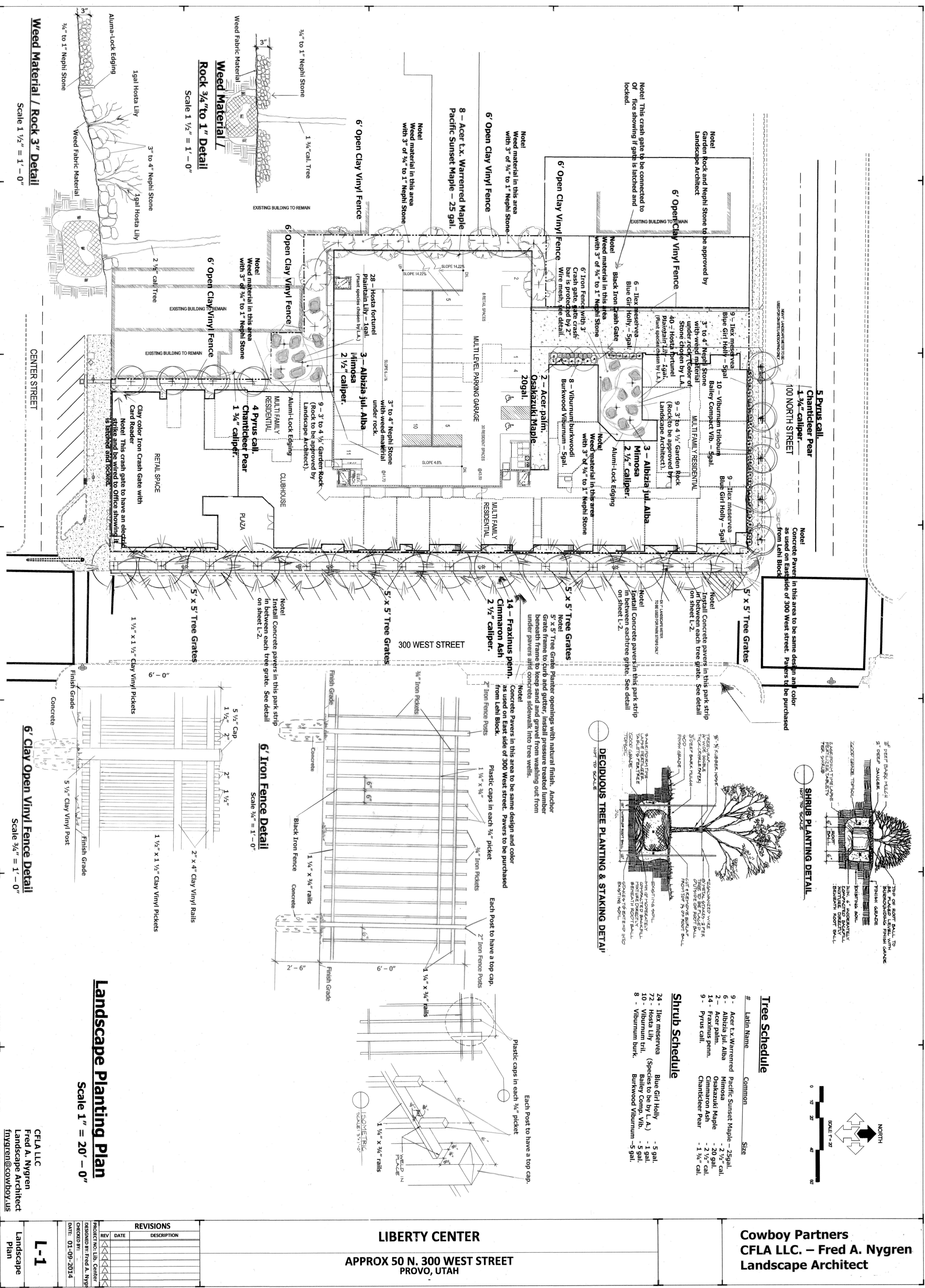


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SHEET NO. **A4.17**  
 SHEET CONTENTS: REFERENCE BUILDING ELEVATIONS

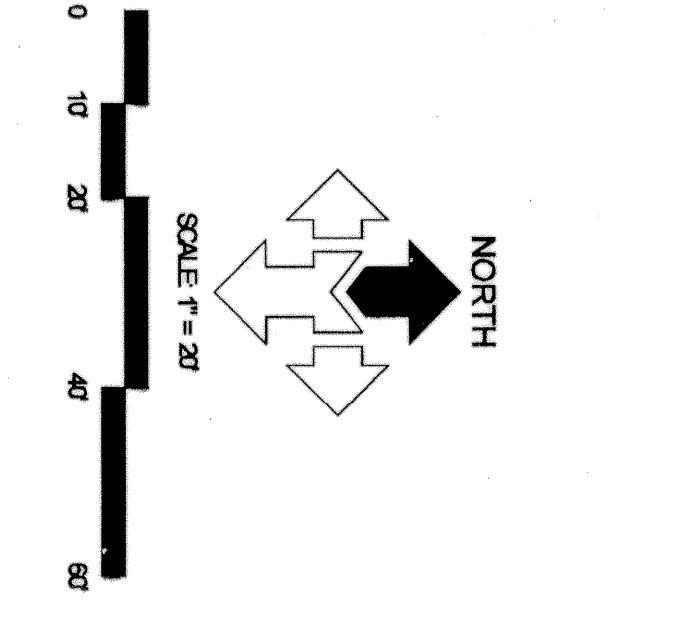


**Tree Schedule**

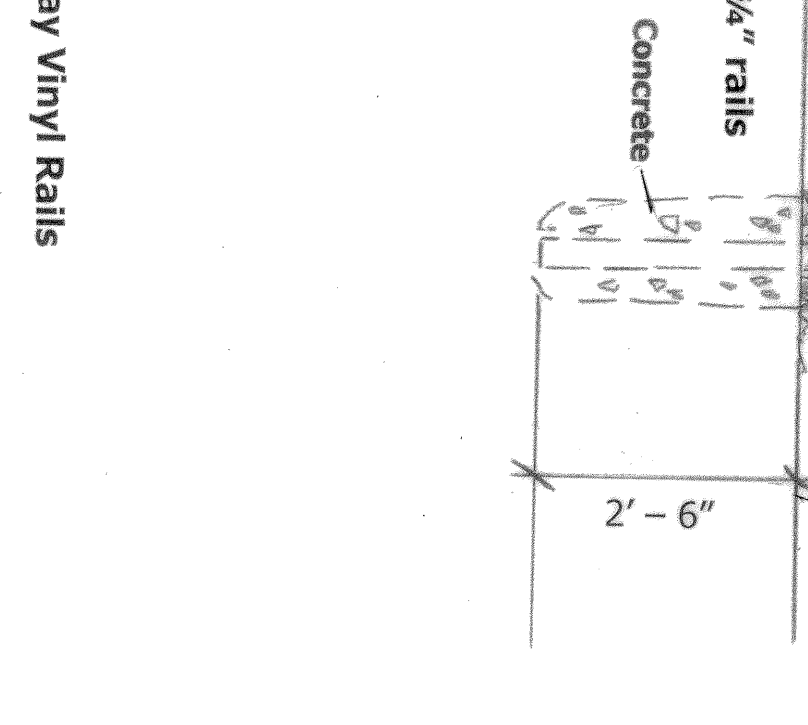
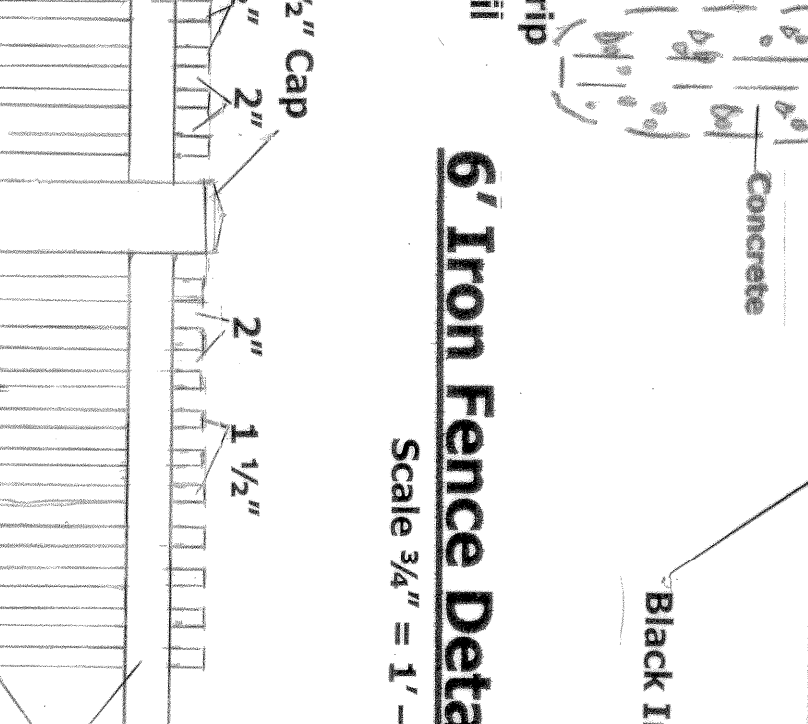
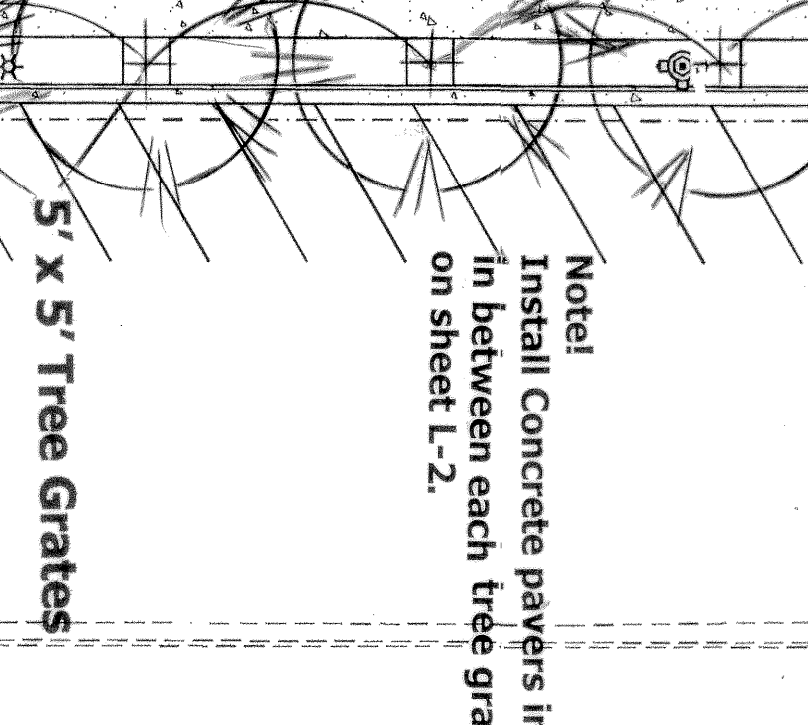
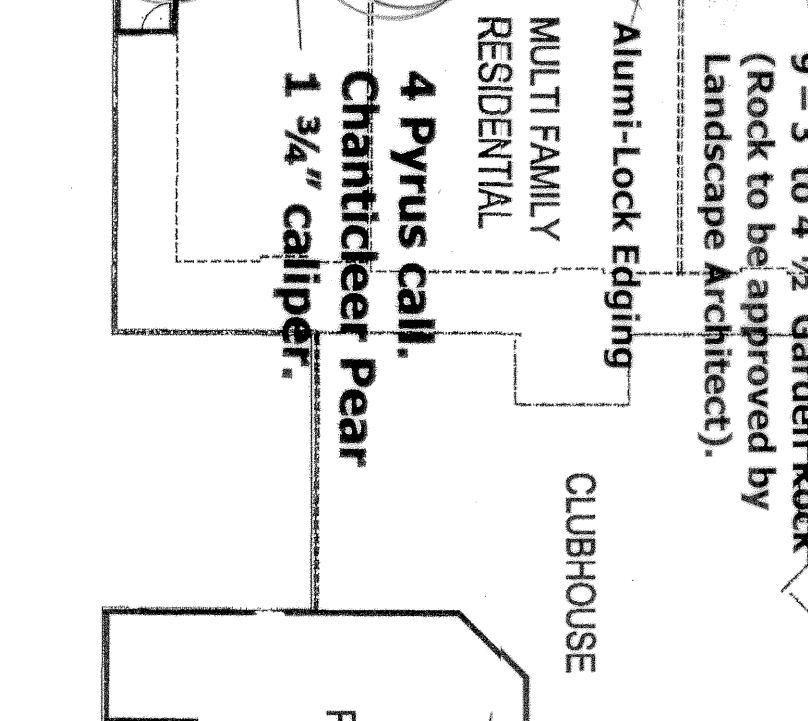
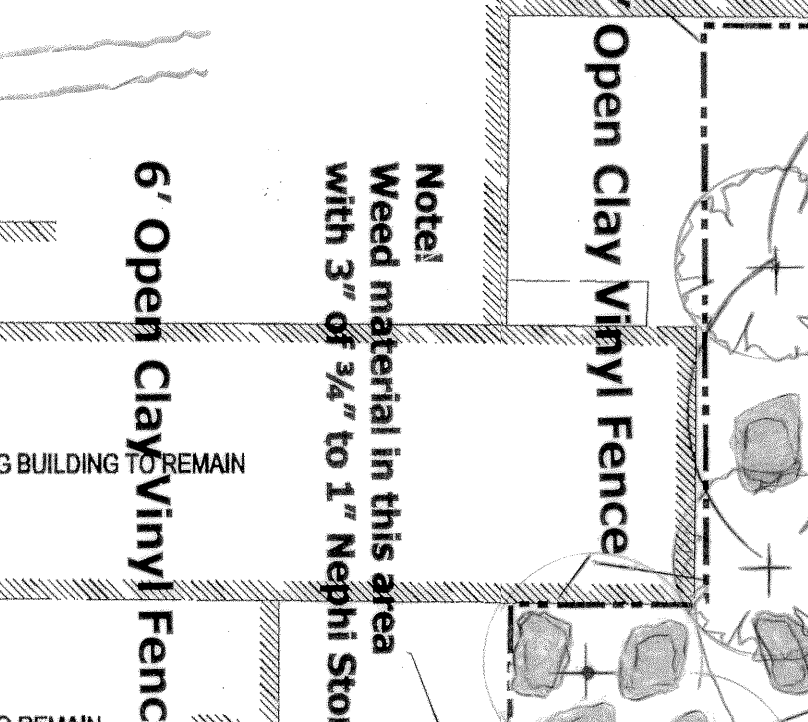
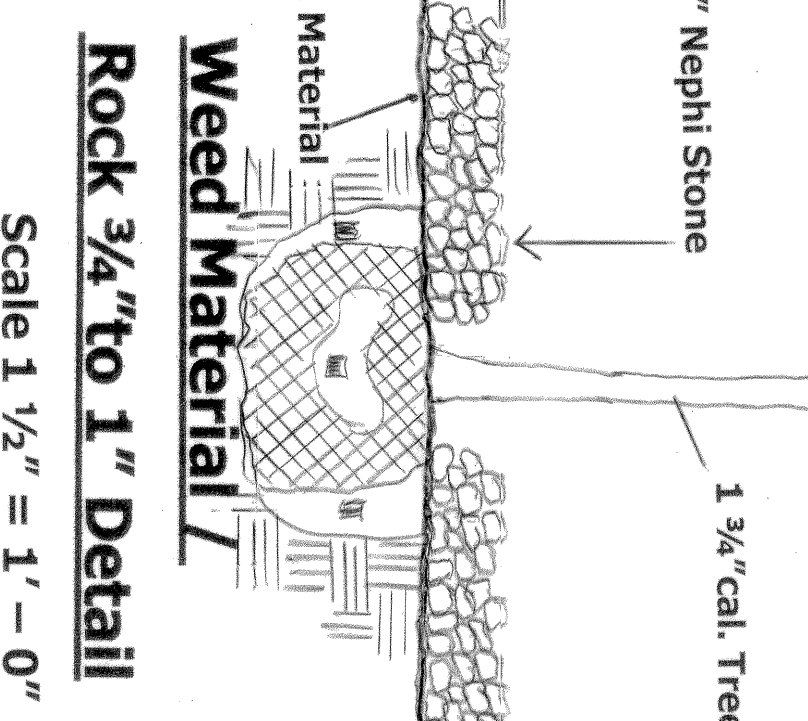
#	Latin Name	Common	Size
9	Acer t.x. Warrendale	Pacific Sunset Maple - 25gal.	
6	Albizia jul. Alba	Mimosa	- 2 1/2" cal.
2	Acer palm.	Osakazuki Maple	- 20 gal.
14	Fraxinus penn.	Cinnamon Ash	- 2 1/2" cal.
9	Pyrus call.	Chanticleer Pear	- 1 1/4" cal.
24	Ilex meservea	Blue Girl Holly	- 5 gal.
72	Hosta Lily	(Species to be by L.A.)	- 1 gal.
10	Viburnum tril.	Bailley Comp. Vib.	- 5 gal.
8	Viburnum burk.	Burkwood Viburnum	- 5 gal.

**Shrub Schedule**

#	Latin Name	Common	Size
9	Acer t.x. Warrendale	Pacific Sunset Maple - 25gal.	
6	Albizia jul. Alba	Mimosa	- 2 1/2" cal.
2	Acer palm.	Osakazuki Maple	- 20 gal.
14	Fraxinus penn.	Cinnamon Ash	- 2 1/2" cal.
9	Pyrus call.	Chanticleer Pear	- 1 1/4" cal.
24	Ilex meservea	Blue Girl Holly	- 5 gal.
72	Hosta Lily	(Species to be by L.A.)	- 1 gal.
10	Viburnum tril.	Bailley Comp. Vib.	- 5 gal.
8	Viburnum burk.	Burkwood Viburnum	- 5 gal.



**Weed Material / Rock 3" Detail**  
Scale 1 1/2" = 1' - 0"



**Landscape Planting Plan**  
Scale 1" = 20' - 0"

**LIBERTY CENTER**  
APPROX 50 N. 300 WEST STREET  
PROVO, UTAH

**Cowboy Partners**  
CFLA LLC. - Fred A. Nygren  
Landscape Architect

REV	DATE	DESCRIPTION

DESIGNED BY: Fred A. Nygren  
CHECKED BY: Fred A. Nygren  
DATE: 01-09-2014

CFLA LLC  
Fred A. Nygren  
Landscape Architect  
fnygren@cowboy.us

**L-1**

Landscape  
Plan